



**DATE:** November 21, 2023

**SUBJECT:** Special Use Permit  
New Wireless Telecommunications Tower

**CASE:** SUP-03-23

**ACCELA:** CN-SUP-2023-00004

**APPLICANT:** Benjamin Herrick, on behalf of Verizon

**LOCATION:** 4515 Morehead Rd.  
p/o PIN 4598-56-5792

**AREA:** +/- 0.8 acres

**EXISTING LAND USE:** Existing cell tower site adjacent to gas station

**EXISTING ZONING:** C-2 (General Commercial)

**PREPARED BY:** Frederick Womble, Planner

**Please note:** Per CDO Section 6.2.1 “*Special Use Permits are issued on a case by case basis. Special uses are generally compatible with the land uses permitted by right in a zoning district, but require individual review as to their location, design, and configuration. Special uses ensure the appropriateness of the use at a particular location within a given zoning district.*” Approval or denial of a Special Use Permit should be based on the information ascertained from the public hearing and reflected in the Findings of Fact and Conclusions of Law.

**BACKGROUND**

The applicant is requesting to remove an existing 91’-6” temporary WCF and to construct a new 85’ freestanding non-concealed WCF (monopole) which requires a Special Use Permit per CDO Section 8.7. The subject property annexed effective on September 30, 1990.. The subject parcel is currently zoned C-2 (General Commercial). The subject parcel is approximately +/- 0.81 acres that is currently utilized as a temporary tower site for Verizon Wireless. Verizon Wireless has utilized this temporary site for the past several years to handle increased RF coverage needs to accommodate the crowds associated with annual NASCAR race events. The parent property is owned by Philip Little.

Section 8.7.3 sets forth the following dimensional requirements for Wireless Support Structures:

- A. Height: Freestanding nonconcealed wireless communication facilities (WCFs) are limited in all nonresidential districts to a maximum height of 199 feet. This measure includes the foundation of the WCF but does not include the lightning rods for the dissipation of lightning or lights required by the FAA that do not provide support for any antennae.

*The application meets this standard.*

- B. Setbacks: For WCFs shall be determined according to the underlying zoning district, plus an additional eighteen inches for every one-foot of tower height. The approving authority may grant reductions to this setback requirement as a part of the special use permit approval.

*The applicant is proposing a setback easement of 137' (10' for underlying zoning district + 1.5 x height of the tower) and any parcels affected by the tower setback are under common ownership of the landlord (Phillip Little). The applicant will provide notice to any future landowners that no additional buildings should be located inside the 137' setback easement. Additionally, the applicant states that the tower is designed with a 25' engineered fall zone radius. (See Exhibit B)*

C. Buffers:

1. A landscaped buffer shall surround the base of the WCF equipment compound. Existing trees and shrubs on the site should be preserved and may be used in lieu of required landscaping where approved by the Administrator. Grading shall be minimized and limited only to the area necessary for the new WCF.
2. If the proposed WCF is the principal use of the property then landscaping per Article 11, Landscaping and Buffering, shall be applicable. Additionally a buffer equivalent to that required for an Industrial use adjoining a Residential use shall be provided around the WCF equipment compound.

*The proposed tower is not the principal use of the property and will be located within an existing Verizon leasehold area of the larger parcel that is currently utilized as a gas station and mini-mart. There is no landscape buffer proposed for this new tower site as the applicant contends that there are no residences with direct views of the tower compound area. There is an existing parking lot/campground for RV-style camping to the north of the tower compound location. Additionally, the temporary tower that has been in use has not been screened with landscaping and the community has accepted this installation for several years. (See Exhibits B & C)*

D. Aesthetics:

3. Freestanding non-concealed WCFs, including those used for mitigation, shall be limited to monopole type antenna support structures.

*The application meets this standard.*

- E. Collocation Capacity: Freestanding non-concealed structures up to 120 feet in height shall accommodate at least two antenna arrays.

*The site has been designed to accommodate the proposed Verizon Wireless antenna loading and that of one additional user. (See Exhibits B & D)*

The applicant contends that the proposed WCF will not cause signal or frequency interference with public safety facilities or traffic control devices. Verizon Wireless operates only on licensed frequencies. They have stated that no lighting is required by the FAA, no commercial messages will be displayed, and no storage of any type will be allowed at the site. Per the TOWAIR report,

the proposed tower will require FAA notification and FCC registration. Documentation of compliance with ANSI standards for power output cannot be provided until antenna permits are applied for; seismic and foundation analysis will be provided at the building permit stage.

Verizon is the intended user of the tower, although space is available for at least one other tenant.

The application, site plan, including tower elevations, applicant's compliance statement & narrative, structural analysis and other documents have been reviewed by the Development Review Committee and meet the standards of the Concord Development Ordinance (CDO). As such, if approved, the site plan will be subject to technical site plan approval.

#### **EXHIBITS**

- A. Application
- B. Site Plan
- C. Applicant "Ordinance Compliance Statement and Narrative"
- D. Structural Integrity Analysis

#### **PROPOSED FINDINGS OF FACT**

1. The applicant is Benjamin Herrick, Faulk & Foster Real Estate, Inc. on behalf of Verizon Wireless and the subject property is located at 4515 Morehead Road.
2. The property is owned by Philip A. Little.
3. The subject property is zoned C-2 (General Commercial).
4. The property consists of +/- 0.8 acres of land.
5. The adopted Land Use Plan designates the property as Amusements-Motor Sports.
6. The applicant submitted an application to construct a new wireless communication facility (WCF) at 4515 Morehead Road (Exhibit A)
7. The applicant submitted a site plan, "NASCAR BP" dated August 23, 2023. (Exhibit B)
8. The applicant submitted an "Ordinance Compliance Statement and Narrative", dated June 1, 2023, which describes efforts to secure colocation within the search area and documentation provided to meet application requirements. Additionally, the applicant submitted Google Earth Street view photos of the existing temporary tower to meet the photo simulation requirements of the WCF ordinance. (Exhibit C).
9. The applicant submitted an engineer's letter regarding the structural integrity of the tower (Exhibit D).

#### **APPROVAL CRITERIA (Conclusions of Law)**

In accordance with CDO Article 6.2, the Commission shall permit only those uses that are part of the special use permit. With special use permits, the burden of proof is on the applicant to prove compliance with the conclusions of law. The following criteria shall be issued by the Commission as the basis for review and approval of the project:

#### **General Requirements**

- A. The Planning and Zoning Commission must find that "the establishment, maintenance, or operation of the proposed use shall not be detrimental to, or endanger, the public health, safety or general welfare."

*The applicant has provided documentation regarding additional engineering on the tower, and additional documentation will be provided that the site meets all federal, state, and local requirements. The applicant states that the site will contribute to the health, safety*

*and welfare of the surrounding community by facilitating 911 calls and provided essential communication to first responders in the event of accidents, crime, natural disasters or other emergencies in association with NASCAR events.*

- B. The Planning and Zoning Commission must find that the proposed use “conforms to the character of the neighborhood, considering the location, type, and height of buildings or structures, and the type and extent of landscaping and screening on the site.”

*The applicant has submitted visualizations of the existing temporary tower from the residences in the 1,500’ zone around the tower and located along Hwy. 29 to the south/southwest of the tower site. The applicant asserts that no landscaping and screening of the tower site are necessary, as there are no residences with a direct view of the tower compound. The existing temporary WCF operated under similar conditions with no issue in terms of neighborhood character and visual impact.*

- C. The Planning and Zoning Commission must find that the proposed use “provides ingress and egress so designed as to minimize traffic hazards and to minimize congestion on the public roads.”

*The proposed unstaffed facility is a passive use which does not create any significant increase in traffic or adverse impacts that would hinder the use of surrounding properties. The facility will use the existing access easement as indicated on the drawings provided for site ingress/egress.*

- D. The Planning and Zoning Commission must find that the proposed use “shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke or gas.”

*The proposed unstaffed facility does not create any significant glare, noise, traffic or other adverse impacts.*

- E. The Planning and Zoning Commission must find that “the establishment of the proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.”

*The majority of surrounding properties are already developed and the applicant asserts that the proposed facility will not hinder the use of the surrounding properties. The only adjacent property that is not currently developed is under the same ownership as the subject property and is presently utilized as a parking lot/campground for RV style camping.*

- F. Compliance with any other applicable Sections of this Ordinance:

*Based upon the submitted materials the proposed use and associated site plan comply with the City’s ordinances and other governing laws.*



Per CDO Section 8.7.7 Approval Authority, subsection B.:

All freestanding non-qualifying WCFs shall be subject to a special use permit. In addition to the requirements for use permits, the approving authority, in determining whether a non-qualifying WCF is in harmony with the area or the effects and general compatibility of a non-qualifying WCF with adjacent properties may consider the aesthetic effects of the non-qualifying WCF as well as mitigating factors concerning aesthetics.

### **Aesthetics**

The Planning and Zoning Commission may disapprove an application on the grounds that the non-qualifying WCFs aesthetic effects are unacceptable, or may condition approval on changes in non-qualifying WCF height, design, style, buffers, or other features of the non-qualifying WCF or its surrounding area. Such changes need not result in performance identical to that of the original application.

Factors relevant to aesthetic effects are: the protection of the view in sensitive or particularly scenic areas and areas specially designated in adopted plans such as unique natural features, scenic roadways and historic sites, the concentration of non-qualifying WCFs in the proposed area, and whether the height, design, placement or other characteristics of the proposed non-qualifying WCF could be modified to have a less intrusive visual impact.

*The applicant has provided a visual simulation for the proposed equipment and asserts that the non-concealed monopole will minimize visual intrusiveness. Included in the application is analysis regarding the City's hierarchy of preferences for wireless telecommunications towers included in Section 8.7.2 regarding siting. A new freestanding non-concealed tower is the least-desirable facility/structure type (of four alternatives).*

### **Electromagnetic Field**

The approving authority, when considering a use permit for freestanding non-qualifying WCFs, shall not be required to make a determination of the electromagnetic field (EMF) effects of the non-qualifying WCF on the health of the public. The documentation required by this section that stipulates that the non-qualifying WCF not exceed the federal limits for power density requirements shall satisfy the applicant's compliance with this required finding.

*This application will be conditioned on antenna applicants (tenants) supplying verification that their proposed installations will meet EMF/power output standards.*

### **Siting Alternatives and Ordinance Purpose**

If the approval authority determines that the proposed additional service, coverage, or capacity to be achieved by the location of the proposed non-qualifying WCF can be achieved by use of one or more alternative non-qualifying WCFs sited in alternative locations that better serve the stated purposes set forth in this section, it may disapprove the proposed non-qualifying WCF application.

The purposes of the section are:

1. Minimize the impacts of wireless communication facilities (WCFs) on surrounding areas by establishing standards for location, structural integrity and compatibility;
2. Encourage the location and collocation of wireless communication equipment on existing structures thereby minimized new visual, aesthetic and public safety impacts, effects upon the natural environment and wildlife, and to reduce the need for additional antenna-supporting structures;
3. Encourage coordination between suppliers of wireless communication services in the City of Concord;

4. Respond to the policies embodied in the Telecommunications Act of 1996 and section 6409 of the Middle Class Tax Relief and Job Creation Act of 2012, 47 U.S.C. § 1455(a) and in accordance with the rules promulgated by the Federal Communications Commission;
5. Protect the unique natural beauty and rural character of the City while meeting the needs of its citizens to enjoy the benefits of wireless communications services; and
6. Encourage the use of public lands, buildings and structures as locations for wireless telecommunications infrastructure as a method to establish a precedence of quality concealment products that will minimize the aesthetic impact of related infrastructure while generating revenue for the City.

*The new permanent tower will replace an existing temporary tower that was used to handle crowds associated with NASCAR events. The applicant contends that there are no other existing structures in the area upon which to co-locate that would serve the specific needs of this site, which is the motor speedway.*

#### **RECOMMENDATION AND SUGGESTED CONDITIONS**

If the Commission votes to approve the special use permit, staff recommends the Commission consider adopting of the following conditions:

1. Development shall be in accordance with the “NASCAR BP” site plan and construction drawings dated 8-23-2023 (Sheets T-1 & T-2; Site Survey Sheets 1 & 2; N1; C0-C3; C8)
2. Foundation analysis will be submitted in conjunction with Building Permit application.
3. Seismic analysis will be submitted in conjunction with Building Permit application.
4. A passing structural analysis, including proposed Verizon antennas, will be submitted in conjunction with Building Permit application.
5. Tenants on tower will be responsible for submitting documentation that power outputs do not exceed maximum standards.
6. Technical site plan review and approval is required including all approvals from outside local, state and federal agencies.

Required Attachments/ Submittals:

- 1. Typed metes and bounds description of the property (or portion of property) in a Word document.
  
- 2. Cabarrus County Land Records printout of names and addresses of all immediately adjacent landowners, including any directly across the street.
  
- 3. A site plan drawn to scale (conditional district plan), and elevations if applicable (submitted digitally).
  
- 4. Money Received by \_\_\_\_\_ Date: \_\_\_\_\_  
Check # \_\_\_\_\_ Amount: \$ 600.00 Cash: \_\_\_\_\_  
*The application fee is nonrefundable.*



Date June 27, 2023

APPLICANT NAME: Benjamin Herrick COMPANY NAME: Faulk & Foster obo Verizon

APPLICANT ADDRESS: 420 Timberlea Drive #60

CITY: Rochester Hills STATE MI ZIP 48309

PHONE NUMBER OF APPLICANT: 248-891-9214

OWNER OF PROPERTY (if different from applicant) Philip A Little

OWNER ADDRESS: PO Box 595 CITY Harrisburg STATE NC ZIP 28075

PROJECT ADDRESS (if an address exist): 4515 Morehead Road, Concord NC 28027

P.I.N.: 45985657920000

Area of Subject Property (in acres, or square feet): approx 40,000 square feet

Lot Width: 200 Lot Depth: 200

Current Zoning Classification: C-2

Existing Land Use: Commercial gas station plus temporary cell tower

Description of Use Requested:

Commercial gas station plus permanent cell tower

**Certification**

I hereby acknowledge and say that the information contained herein and herewith is true, and this application shall not be scheduled for official consideration until all of the required contents are submitted in proper form to the Development Services Department.

Date: 6/27/2023 Applicant Signature: *Benjamin S. Herrick*

Date: \_\_\_\_\_ Property Owner Signature: \_\_\_\_\_

### General Requirements

The Concord Development Ordinance (CDO) imposes the following general requirements. Under each requirement, the applicant should explain, with reference to the attached plans (when applicable) how the proposed use satisfies these requirements.

- (a) The Planning and Zoning Commission must find that “the establishment, maintenance, or operation of the proposed use shall not be detrimental to, or endanger, the public health, safety or general welfare.”  
Applicant states that the proposed use is not detrimental to or a danger to public health, safety or general welfare but will in fact benefit the public health, safety and general welfare of the area.
- (b) The Planning and Zoning Commission must find that the proposed use “conforms to the character of the neighborhood, considering the location, type, and height of buildings or structures, and the type and extent of landscaping and screening on the site.”  
Applicant states that the proposed use conforms to the character of the neighborhood as the site has been used seasonally for a temporary tower for several consecutive years.
- (c) The Planning and Zoning Commission must find that the proposed use “provides ingress and egress so designed as to minimize traffic hazards and to minimize congestion on the public roads.”  
Applicant states that the existing ingress / egress is adequate to service the proposed facility as demonstrated by the last several years of temporary use.
- (d) The Planning and Zoning Commission must find that the proposed use “shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke or gas.”  
Applicant states that the proposed facility generates no odor, dust, smoke or gas and any noise generated by an emergency generator is minimal and sporadic.
- (e) The Planning and Zoning Commission must find that “the establishment of the proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.”  
Applicant states that the proposed use will not impete the development of this area as the use is in harmony with existing uses of this property.

### Specific Requirements

The Concord Development Ordinance also imposes SPECIFIC REQUIREMENTS on the proposed use(s) requested by the applicant. The applicant should be prepared to demonstrate that, if the land is used in a manner consistent with the plans, specifications, and other information presented to the Planning and Zoning Commission, the proposed use(s) will comply with specific requirements concerning the following:

- (1) Nature of use(s) (type, number of units, and/or area):  
Adding one permanent wireless communication tower where the site has been used for a temporary tower for several consecutive years.
- (2) Accessory uses (if any):  
No additional accessory uses are propose.
- (3) Setback provisions:  
Permanent fall zone easement included with the lease - see attached documents.
- (4) Height provisions: Proposed tower is 85' to top of steel plus an additional 5' lightning arrester for a total height of 90' above ground level.

- 
- (5) Off-street parking and loading provisions:  
No additional parking spaces are needed; site is adequately served by existing parking
- 
- (6) Sign provisions:  
Only signage proposed is required by the FCC; see plans.
- 
- (7) Provisions for screening, landscaping and buffering:  
See narrative and ordinance compliance statement.
- 
- (8) Provisions for vehicular circulation and access to streets:  
No additional roadways or driveways are needed for this project.
- 
- (9) Adequate and safe design for grades, paved curbs and gutters, drainage systems, and treatment or turf to handle storm water, prevent erosion, and subdue dust:  
No changes to the existing impervious materials are anticipated.
- 
- (10) Adequate, safe and convenient arrangement of pedestrian circulation facilities, roadways, driveways, off-street parking and loading spaces, facilities for waste disposal, and illumination:  
No additional facilities of this type are required for this project.
- 
- (11) An adequate amount, and safe location of, play areas for children and other recreational uses, according to the concentration of residential occupancy:  
This project will be secure from access by children.
- 
- (12) Fences, walls, or year-round screen planting abutting residential districts, to protect residences from parking lot illumination, headlights, fumes, heat, blowing papers, and dust (to reduce the visual encroachment on privacy and residents):  
See attached ordinance compliance statement.
- 
- (13) Open space (including flood hazard area):  
See attached ordinance compliance statement.
- 
- (14) Improvements within the common open space:  
N/A
- 
- (15) Parking Areas:  
No additional parking is required for this project.
- 
- (16) Sidewalks, trails and bikeways:  
N/A
- 
- (17) Lighting and utilities:  
Adequate utilities already exist and have been used by the temporary facility.
- 
- (18) Site furnishings:  
N/A
- 
- (19) Adequate fire, police, water and sewer services: Site is adequately served already; no water or sewer needed.

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(20) Other requirements as may be requested by the applicant or specified by the City Council for protection of the public health, safety, welfare and convenience:  
See attached ordinance compliance statement.

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EXHIBIT B

verizon  
8921 RESEARCH DRIVE  
CHARLOTTE, NC 28262

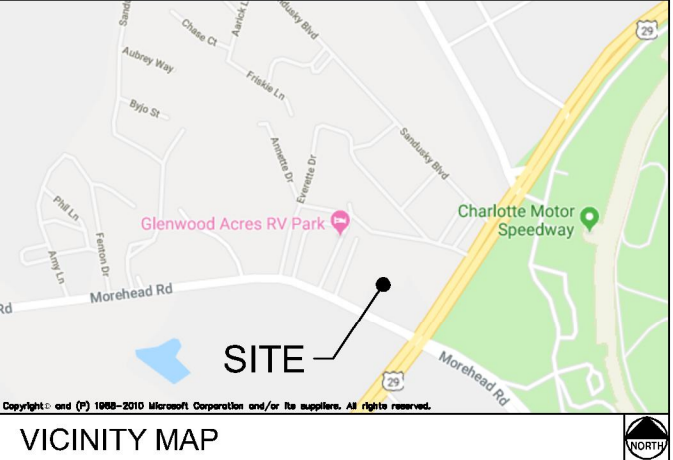
NASCAR BP

SITE ADDRESS (E-911 TBD)

4515 MOREHEAD ROAD  
CONCORD, NC 28027  
CABARRUS COUNTY  
LATITUDE: 35° 21' 01.7" N  
LONGITUDE: 80° 41' 29.8" W  
TAX/PIN #: 45985657920000  
ZONING: C-2

**CONCORD POLICE DEPARTMENT**  
8111 CONCORD MILLS BOULVD #100  
CONCORD, NC 28027  
PHONE: (704) 979-1000  
ATTN.: CUSTOMER SERVICE

**CONCORD FIRE DEPARTMENT-STATION 11**  
8955 WEDDINGTON RD  
CONCORD, NC 28027  
PHONE: (704) 920-5516  
ATTN.: CUSTOMER SERVICE



FROM CHARLOTTE OFFICE: HEAD SOUTHWEST TOWARD RESEARCH DR 276 FT; TURN RIGHT ONTO RESEARCH DR 0.4 MI; TURN LEFT ONTO W W.T.HARRIS BLVD 0.4 MI; TURN LEFT ONTO THE INTERSTATE 85 N RAMP 0.3 MI; MERGE ONTO I-85 N 2.0 MI; USE THE RIGHT 2 LANES TO TAKE EXIT 48 TOWARD MATTHEWS 0.9 MI; MERGE ONTO I-485 INNER 0.3 MI; USE THE RIGHT 2 LANES TO TAKE EXIT 32 FOR US 29 N 0.4 MI; USE ANY LANE TO TURN LEFT ONTO US-29 N 2.3 MI; TURN LEFT ONTO MOREHEAD RD AND THE SITE WILL BE ON THE RIGHT 433 FT

DRIVING DIRECTIONS

**MUNICIPALITY:**  
CITY OF CONCORD

**STATE:**  
NORTH CAROLINA

**TOWER TYPE:**  
MONOPOLE TOWER

**TOWER HEIGHT:**  
85' (90' TO HIGHEST APPURTENANCE)

**NUMBER OF CARRIERS:**  
0 EXISTING, 1 PROPOSED

**USE:**  
PROPOSED TELECOMMUNICATIONS TOWER AND UNMANNED EQUIPMENT

**FLOOD INFO**  
SITE IS LOCATED WITHIN FEMA FLOOD MAP AREA 3710459800L DATED 11/16/18 WITHIN FLOOD ZONE X.

PROJECT SUMMARY

**DEVELOPER**  
VERIZON WIRELESS  
8921 RESEARCH DRIVE  
CHARLOTTE, NC 28262  
PHONE: (704) 577-8785  
ATTN: MICHAEL HAVEN

**POWER COMPANY**  
DUKE ENERGY  
PHONE: (800) 777-9898  
ATTN.: CUSTOMER SERVICE

**PROPERTY OWNER**  
PHILLIP A. LITTLE  
4521 MOREHEAD RD  
CONCORD, NC 28027  
PHONE: N/A  
ATTN.: N/A

**CONSULTANT**  
KIMLEY-HORN AND ASSOCIATES, INC.  
11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GEORGIA 30009  
PHONE: (770) 545-6105  
ATTN.: DAVID FRANKLIN

CONTACTS

SHEET NO.	SHEET TITLE
T1	COVER SHEET
T2	APPENDIX B - BUILDING CODE SUMMARY
--	SITE SURVEY (SHEET 1 OF 2)
--	SITE SURVEY (SHEET 2 OF 2)
N1	GENERAL NOTES
C0	DEMO PLAN
C1	OVERALL PARCEL PLAN
C1.1	OVERALL SITE PLAN
C2	SITE PLAN
C3	EQUIPMENT PAD LAYOUT
C4	EQUIPMENT RACK DETAIL - FRONT
C5	EQUIPMENT RACK DETAIL - REAR
C6	FENCE POST LOCATION DETAIL
C6.1	FENCE DETAILS
C6.2	FENCE DETAILS
C7	SITE SIGNAGE DETAILS
C8	ANTENNA AND TOWER ELEVATION DETAILS
M1	MECHANICAL PLAN AND NOTES
E1	ELECTRICAL NOTES
E2	UTILITY SERVICE ROUTING PLAN
E2.1	EXISTING METER RACK
E3	OVERALL UTILITY ROUTING PLAN
E4	ELECTRICAL SINGLE LINE DIAGRAM
E5	PANEL SCHEDULE
E6	ELECTRICAL DETAILS
E6.1	PAD MOUNTED CABLE TRAY DETAILS
E7	GROUNDING NOTES
E8	GROUNDING PLAN
E9	GROUNDING SINGLE LINE DIAGRAM
E10	GROUNDING DETAILS
E11	GROUNDING DETAILS

SHEET INDEX

**CITY OF CONCORD PLANNING & NEIGHBORHOOD DEVELOPMENT DEPARTMENT**  
35 CABARRUS AVE W  
CONCORD, NC 28025  
PHONE: (704) 920-5152  
ATTN.: CUSTOMER SERVICE

PERMIT INFORMATION

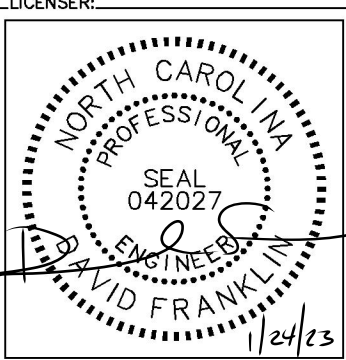


PROJECT INFORMATION:  
SITE NAME:  
NASCAR BP  
SITE No.: 398899  
PROJECT #: 20151304684  
4515 MOREHEAD ROAD  
CONCORD, NC 28027  
CABARRUS COUNTY

PLANS PREPARED BY:  
**Kimley»Horn**  
11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM  
NC License F-0102

REV: DATE: ISSUED FOR: BY:

REV	DATE	ISSUED FOR	BY
8			
7			
6			
5			
4	01/18/23	CONSTRUCTION	DMF
3	07/01/20	CONSTRUCTION	DMF
2	08/21/19	CONSTRUCTION	DMF
1	08/06/19	CONSTRUCTION	DMF
0	04/10/19	CONSTRUCTION	DMF



KHA PROJECT NUMBER:  
018985878

DRAWN BY: KAB CHECKED BY: TDM

SHEET TITLE:  
**COVER SHEET**

SHEET NUMBER:  
T1

K:\ATL\_Wireless\000\_Verizon\2016 Sites\Nascar\CAD\2019\CAD\CD\ECor-GB.dwg 01/24/23 2:12 PM by: christopher.strange



2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS (EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)

Name of Project: VERIZON WIRELESS - NASCAR BP
Address: 4515 MOREHEAD ROAD, CONCORD, NC
Owner/Authorized Agent: DAVID FRANKLIN

CONTACT: DAVID FRANKLIN, P.E. (#042027)
DESIGNER: FIRM NAME LICENSE # TELEPHONE # E-MAIL
Architectural: KIMLEY-HORN & ASSOC. DAVID FRANKLIN 042027 (770) 545-6105 david.franklin@kimley-horn.com

2018 NC BUILDING CODE: [X] New Building [ ] Addition [ ] Renovation
[ ] 1st Time Interior Completion
[ ] Shell/Corc - Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE: EXISTING: [ ] Prescriptive [ ] Repair [ ] Chapter 14
Alteration: [ ] Level I [ ] Level II [ ] Level III
[ ] Historic Property [ ] Change of Use

CONSTRUCTED: (date) CURRENT OCCUPANCY(S) (Ch. 3): TELECOMMUNICATIONS SITE
RENOVATED: (date) PROPOSED OCCUPANCY(S) (Ch. 3): TELECOMMUNICATIONS SITE
RISK CATEGORY (Table 1604.5): Current: [ ] I [ ] II [ ] III [ ] IV
Proposed: [ ] I [ ] II [ ] III [ ] IV

BASIC BUILDING DATA
Construction Type: [ ] I-A [ ] I-B [ ] II-A [ ] II-B [ ] III-A [ ] III-B [ ] IV [ ] V-A [ ] V-B
Sprinklers: [ ] No [ ] Partial [ ] Yes [ ] NFPA 13 [ ] NFPA 13R [ ] NFPA 13D
Standpipes: [ ] No [ ] Yes Class [ ] I [ ] II [ ] III [ ] Wet [ ] Dry
Fire District: [ ] No [ ] Yes Flood Hazard Area: [ ] No [ ] Yes
Special Inspections Required: [ ] No [ ] Yes (Contact the local inspection jurisdiction for additional procedures and requirements.)

Table with 4 columns: FLOOR, EXISTING (SQ FT), NEW (SQ FT), SUB-TOTAL. Rows include 3rd Floor, 2nd Floor, Mezzanine, 1st Floor, Basement, and TOTAL.

ALLOWABLE AREA
Primary Occupancy Classification(s): Select one Select one Select one Select one Select one
Assembley: [ ] A-1 [ ] A-2 [ ] A-3 [ ] A-4 [ ] A-5
Business: [ ]
Educational: [ ]
Factory: [ ] F-1 Moderate [ ] F-2 Low
Hazardous: [ ] H-1 Detonate [ ] H-2 Dehgrate [ ] H-3 Combust [ ] H-4 Health [ ] H-5 HPM
Institutional: [ ] I-1 Condition [ ] I-2 Condition [ ] I-3 Condition [ ] I-4
Mercantile: [ ]
Residential: [ ] R-1 [ ] R-2 [ ] R-3 [ ] R-4
Storage: [ ] S-1 Moderate [ ] S-2 Low [ ] High-piled
Utility and Miscellaneous: [ ] Open [ ] Enclosed [ ] Repair Garage
Accessory Occupancy Classification(s):
Incidental Uses (Table 509):
Special Uses (Chapter 4 - List Code Sections):
Special Provisions: (Chapter 5 - List Code Sections):
Mixed Occupancy: [ ] No [ ] Yes Separation: \_\_\_\_\_ Hr. Exception: \_\_\_\_\_

[X] Non-Separated Use (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
[ ] Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.
Actual Area of Occupancy A + Actual Area of Occupancy B / Allowable Area of Occupancy A + ... <= 1.00

Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = \_\_\_\_ (F)
b. Total Building Perimeter = \_\_\_\_ (P)
c. Ratio (F/P) = \_\_\_\_ (F/P)
d. W = Minimum width of public way = \_\_\_\_ (W)
e. Percent of frontage increase If = 100[(F/P) - 0.25] x W/30 = \_\_\_\_ (%)
Unlimited area applicable under conditions of Section 507.
Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
The maximum area of open parking garages must comply with Table 406.4.4. The maximum area of air traffic control towers must comply with Table 412.3.1.
Frontage increase is based on the unspinklered area value in Table 506.2.

Table with 3 columns: ALLOWABLE, SHOWN ON PLANS, CODE REFERENCE. Rows: Building Height in Feet (Table 504.2), Building Height in Stories (Table 504.4).

FIRE PROTECTION REQUIREMENTS

Table with 7 columns: BUILDING ELEMENT, FIRE SEPARATION DISTANCE (FEET), RATING (REQ'D, PROVIDED, REDUCTION), DETAIL # AND SHEET #, DESIGN # FOR RATED ASSEMBLY, SHEET # FOR RATED PENETRATION, SHEET # FOR RATED JOINTS. Rows include Structural Frame, Bearing Walls, Nonbearing Walls and Partitions, Floor Construction, etc.

PERCENTAGE OF WALL OPENING CALCULATIONS

Table with 4 columns: FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES, DEGREE OF OPENINGS PROTECTION (TABLE 705.8), ALLOWABLE AREA (%), ACTUAL SHOWN ON PLANS (%).

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: [ ] No [ ] Yes
Exit Signs: [ ] No [ ] Yes
Fire Alarm: [ ] No [ ] Yes
Smoke Detection Systems: [ ] No [ ] Yes [ ] Partial
Carbon Monoxide Detection: [ ] No [ ] Yes

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #:
[ ] Fire and/or smoke rated wall locations (Chapter 7)
[ ] Assumed and real property line locations (if not on the site plan)
[ ] Exterior wall opening area with respect to distance to assumed property lines (705.8)
[ ] Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
[ ] Occupant loads for each area
[ ] Exit access travel distances (1017)
[ ] Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
[ ] Dead end lengths (1020.4)
[ ] Clear exit widths for each exit door
[ ] Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
[ ] Actual occupant load for each exit door
[ ] A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
[ ] Location of doors with panic hardware (1010.1.10)
[ ] Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
[ ] Location of doors with electromagnetic egress locks (1010.1.9.9)
[ ] Location of doors equipped with hold-open devices
[ ] Location of emergency escape windows (1030)
[ ] The square footage of each fire area (202)
[ ] The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
[ ] Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107)

Table with 8 columns: TOTAL UNITS, ACCESSIBLE UNITS REQUIRED, ACCESSIBLE UNITS PROVIDED, TYPE A UNITS REQUIRED, TYPE A UNITS PROVIDED, TYPE B UNITS REQUIRED, TYPE B UNITS PROVIDED, TOTAL ACCESSIBLE UNITS PROVIDED.

ACCESSIBLE PARKING (SECTION 1106)

Table with 5 columns: LOT OR PARKING AREA, TOTAL # OF PARKING SPACES REQUIRED, # OF ACCESSIBLE SPACES PROVIDED, TOTAL # ACCESSIBLE UNITS PROVIDED. Rows: Regular with 5' Access Aisle, 132" Access Aisle, 8' Access Aisle, TOTAL.

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

Table with 4 columns: USE, WATERCLOSETS, URINALS, LAVATORIES, SHOWERS, DRINKING FOUNTAINS. Rows: SPAC, EXIST'G, NEW, REQ'D.

SPECIAL APPROVALS

Special approval: Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below

ENERGY SUMMARY

The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: [ ] No [ ] Yes (The remainder of this section is not applicable)

Exempt Building: [ ] No [ ] Yes (Provide code or statutory reference):
Climate Zone: [ ] 3A [ ] 4A [ ] 5A
Method of Compliance: Energy Code [ ] Performance [ ] Prescriptive
ASHRAE 90.1 [ ] Performance [ ] Prescriptive
(If "Other" specify source here)

THERMAL ENVELOPE (Prescriptive method only)

Roof/Ceiling Assembly (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Skylights in each assembly:
U-Value of skylight:
total square footage of skylights in each assembly:
Exterior Walls (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Openings (windows or doors with glazing)
U-Value of assembly:
Solar heat gain coefficient:
projection factor:
Door R-Values:
Walls below grade (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Floors over unconditioned space (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Floors slab on grade
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Horizontal/vertical requirement:
slab heated:

NOTE: SCOPE OF WORK INCLUDES INSTALLATION OF PRE-FABRICATED CONCRETE FOUNDATION SYSTEM, STEEL CELL TOWER, AND PRE-FABRICATED EQUIPMENT CABINETS.

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS STRUCTURAL DESIGN (PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS:
Importance Factors: Snow (Is) \_\_\_\_\_ Seismic (Ia) \_\_\_\_\_
Live Loads: Roof \_\_\_\_\_ psf Mezzanine \_\_\_\_\_ psf Floor \_\_\_\_\_ psf
Ground Snow Load: \_\_\_\_\_ psf
Wind Load: Basic Wind Speed \_\_\_\_\_ mph (ASCE-7) Exposure Category \_\_\_\_\_

SEISMIC DESIGN CATEGORY: [ ] A [ ] B [ ] C [ ] D
Provide the following Seismic Design Parameters:
Risk Category (Table 1604.5) [ ] I [ ] II [ ] III [ ] IV
Spectral Response Acceleration Ss \_\_\_\_\_ %g Sa \_\_\_\_\_ %g
Site Classification (ASCE 7) [ ] A [ ] B [ ] C [ ] D [ ] E [ ] F
Data Source: [ ] Field Test [ ] Presumptive [ ] Historical Data
Basic structural system [ ] Bearing Wall [ ] Dual w/Special Moment Frame [ ] Building Frame [ ] Dual w/Intermediate R/C or Special Steel [ ] Moment Frame [ ] Inverted Pendulum [ ] Simplified [ ] Equivalent Lateral Force [ ] Dynamic
Architectural, Mechanical, Components anchored? [ ] Yes [ ] No

LATERAL DESIGN CONTROL: Earthquake [ ] Wind [ ]

SOIL BEARING CAPACITIES:
Field Test (provide copy of test report) \_\_\_\_\_ psf
Presumptive Bearing capacity \_\_\_\_\_ psf
Pile size, type, and capacity \_\_\_\_\_

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS MECHANICAL DESIGN (PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

MECHANICAL SUMMARY
MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT
Thermal Zone
winter dry bulb: \_\_\_\_\_
summer dry bulb: \_\_\_\_\_
Interior design conditions
winter dry bulb: \_\_\_\_\_
summer dry bulb: \_\_\_\_\_
relative humidity: \_\_\_\_\_
Building heating load: \_\_\_\_\_
Building cooling load: \_\_\_\_\_
Mechanical Spacing Conditioning System
Unitary
description of unit: \_\_\_\_\_
heating efficiency: \_\_\_\_\_
cooling efficiency: \_\_\_\_\_
size category of unit: \_\_\_\_\_
Boiler
Size category. If oversized, state reason: \_\_\_\_\_
Chiller
Size category. If oversized, state reason: \_\_\_\_\_
List equipment efficiencies: \_\_\_\_\_

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS ELECTRICAL DESIGN (PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

ELECTRICAL SUMMARY
ELECTRICAL SYSTEM AND EQUIPMENT
Method of Compliance: Energy Code [ ] Performance [ ] Prescriptive
ASHRAE 90.1 [ ] Performance [ ] Prescriptive
Lighting schedule (each fixture type)
lamp type required in fixture \_\_\_\_\_
number of lamps in fixture \_\_\_\_\_
ballast type used in the fixture \_\_\_\_\_
number of ballasts in fixture \_\_\_\_\_
total wattage per fixture \_\_\_\_\_
total interior wattage specified vs. allowed (whole building or space by space) \_\_\_\_\_
total exterior wattage specified vs. allowed \_\_\_\_\_
Additional Efficiency Package Options
(When using the 2018 IECC; not required for ASHRAE 90.1)
[ ] C406.2 More Efficient HVAC Equipment Performance
[ ] C406.3 Reduced Lighting Power Density
[ ] C406.4 Enhanced Digital Lighting Controls
[ ] C406.5 On-Site Renewable Energy
[ ] C406.6 Dedicated Outdoor Air System
[ ] C406.7 Reduced Energy Use in Service Water Heating

verizon logo
821 RESEARCH DRIVE CHARLOTTE, NORTH CAROLINA 28262
PROJECT INFORMATION:
SITE NAME: NASCAR BP
SITE No.: 398899
PROJECT #: 20151304684
4515 MOREHEAD ROAD CONCORD, NC 28027 CABARRUS COUNTY
PLANS PREPARED BY: Kimley Horn
11720 AMBER PARK DRIVE, SUITE 600 ALPHARETTA, GA 30009 PHONE: 770-619-4280 WWW.KIMLEY-HORN.COM NC License F-0102

Table with 4 columns: REV, DATE, ISSUED FOR, BY. Rows 8, 7, 6, 5, 4, 3, 2, 1, 0.

LICENSER: NORTH CAROLINA PROFESSIONAL SEAL 042027 ENGINEER DAVID FRANKLIN 1/24/23

KHA PROJECT NUMBER: 018985878
DRAWN BY: KAB CHECKED BY: TDM

SHEET TITLE: APPENDIX B - BUILDING CODE SUMMARY

SHEET NUMBER: T2

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**NOTES**

- THIS SITE SURVEY HAS BEEN PREPARED PARTIALLY FROM AN ACTUAL FIELD SURVEY AND PARTIALLY FROM MAPS AND DEEDS OF RECORD.
- PROPERTY SUBJECT TO ANY VALID & ENFORCEABLE EASEMENTS, RESTRICTIONS & RIGHT OF WAY OF RECORD.
- ALL PROPERTY OWNERS ARE NOW OR FORMERLY. ADJACENT OWNER INFORMATION TAKEN FROM COUNTY TAX RECORDS.
- AREA BY COMPUTER (COORDINATE METHOD).
- ALL DISTANCES SHOWN ARE GROUND DISTANCES UNLESS OTHERWISE NOTED.
- NORTH ORIENTATION BASED UPON NC GRID AND WAS ESTABLISHED BY SURVEY GRADE LEICA DUAL FREQUENCY GPS RECEIVER.
- THIS MAP IS OF LEASED PROPERTY AND DOES NOT CREATE A SUBDIVISION OF LAND.
- THIS MAP IS FOR LEASE PURPOSES AND IS NOT A BOUNDARY SURVEY OF THE ENTIRE TRACT.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE AS PER FEMA FIRM COMMUNITY PANEL NUMBER 3710459800K, EFFECTIVE DATE OF MARCH 2, 2009.

**LEGEND**

- = COMPUTED POINT
- D.B. = DEED BOOK
- EOP = EDGE OF PAVEMENT
- IPF = #4 REBAR FOUND
- IPS = #4 REBAR SET
- MOB = MOBILE HOME
- R/W = RIGHT OF WAY

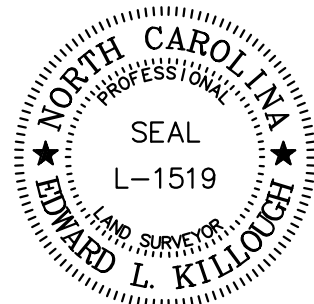
**LINETYPE LEGEND**

- = PARENT TRACT PARCEL LINES
- - - = ADJACENT PARCEL LINES
- - - = LESSEE LEASE LINES
- x - x - = FENCE LINES
- - - = EASEMENT LINES

I HEREBY CERTIFY THAT THIS MAP WAS DRAWN FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION AND ACCURATELY DEPICTS THE LOCATIONS OF THIS SITE AS SURVEYED IN THE FIELD AND IS NOT INTENDED TO BE A BOUNDARY SURVEY OF THE PROPERTY SHOWN. I FURTHER CERTIFY THAT THIS MAP WAS DRAWN BY ME FROM AN ACTUAL GPS SURVEY MADE BY ME AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY

1. CLASS OF SURVEY: A
2. POSITIONAL ACCURACY: <0.10'
3. TYPE OF GPS SURVEY PROCEDURE: NCGS NETWORK RTK USING A LEICA GS14 RECEIVER
4. DATES OF SURVEY: DECEMBER 8, 2016
5. DATUM/EPOCH: NAD 83(NSRS2011)
6. PUBLISHED/FIXED-CONTROL: VRS NETWORK
7. GEOID MODEL: GEOID12B (CONUS)
8. COMBINED GRID FACTOR: 0.999844
9. UNITS: U.S. SURVEY FEET

*Edward L. Killough*  
 EDWARD L. KILLOUGH L-1519 DATE: 1/24/23  
 P.O. BOX 369  
 INDIAN TRAIL, NC 28079  
 TELEPHONE NO. 704 821-7111

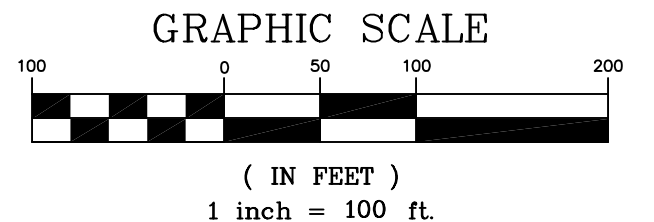
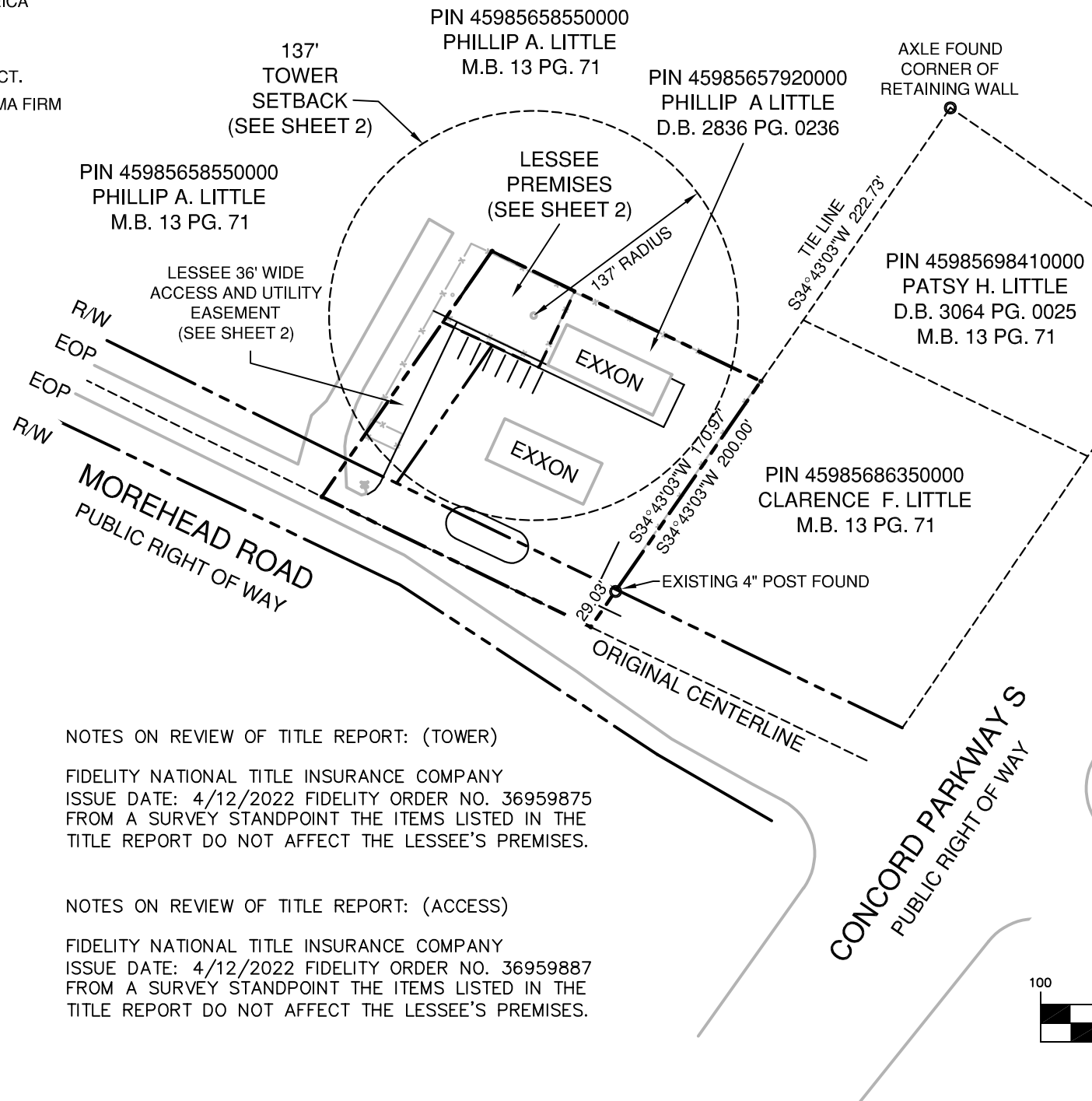
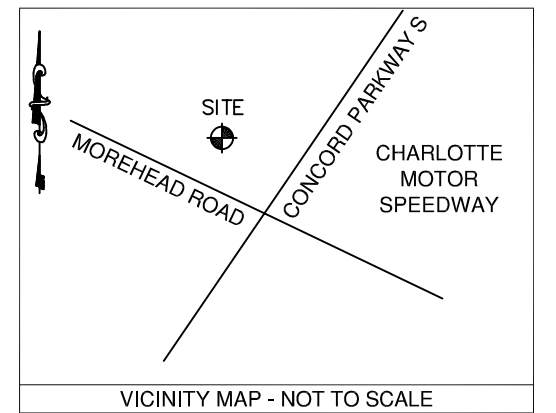


**NOTES ON REVIEW OF TITLE REPORT: (TOWER)**

FIDELITY NATIONAL TITLE INSURANCE COMPANY  
 ISSUE DATE: 4/12/2022 FIDELITY ORDER NO. 36959875  
 FROM A SURVEY STANDPOINT THE ITEMS LISTED IN THE TITLE REPORT DO NOT AFFECT THE LESSEE'S PREMISES.

**NOTES ON REVIEW OF TITLE REPORT: (ACCESS)**

FIDELITY NATIONAL TITLE INSURANCE COMPANY  
 ISSUE DATE: 4/12/2022 FIDELITY ORDER NO. 36959887  
 FROM A SURVEY STANDPOINT THE ITEMS LISTED IN THE TITLE REPORT DO NOT AFFECT THE LESSEE'S PREMISES.



**Kimley»Horn**  
 11720 AMBER PARK DRIVE, SUITE 600, ALPHARETTA, GA 30009  
 PHONE: 770-825-0744 WWW.KIMLEY-HORN.COM

Drawn by: EK Check by: EK Approved by: EK Date: 1/24/23

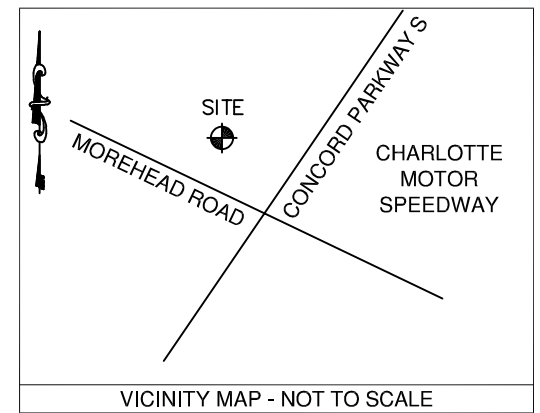
**NASCAR BP**  
 4515 MOREHEAD ROAD  
 CONCORD, NC 28027  
 CABARRUS COUNTY

**verizon wireless**  
 Cellco Partnership d/b/a Verizon Wireless

REVISIONS			
No.	DATE	DESCRIPTION	BY
3	1/24/23	ADDED 137' TOWER SETBACK AND REISSUED	EK
2	6/27/19	REVISED ACCESS AND UTILITY EASEMENT AND REISSUED	EK
1	3/23/18	CHANGED TEXT PER ATTORNEY REQUEST AND REISSUED	EK
0	1/25/18	ISSUED AS FINAL DRAWING	EK
A1	10/25/17	ISSUED FOR REVIEW	EK

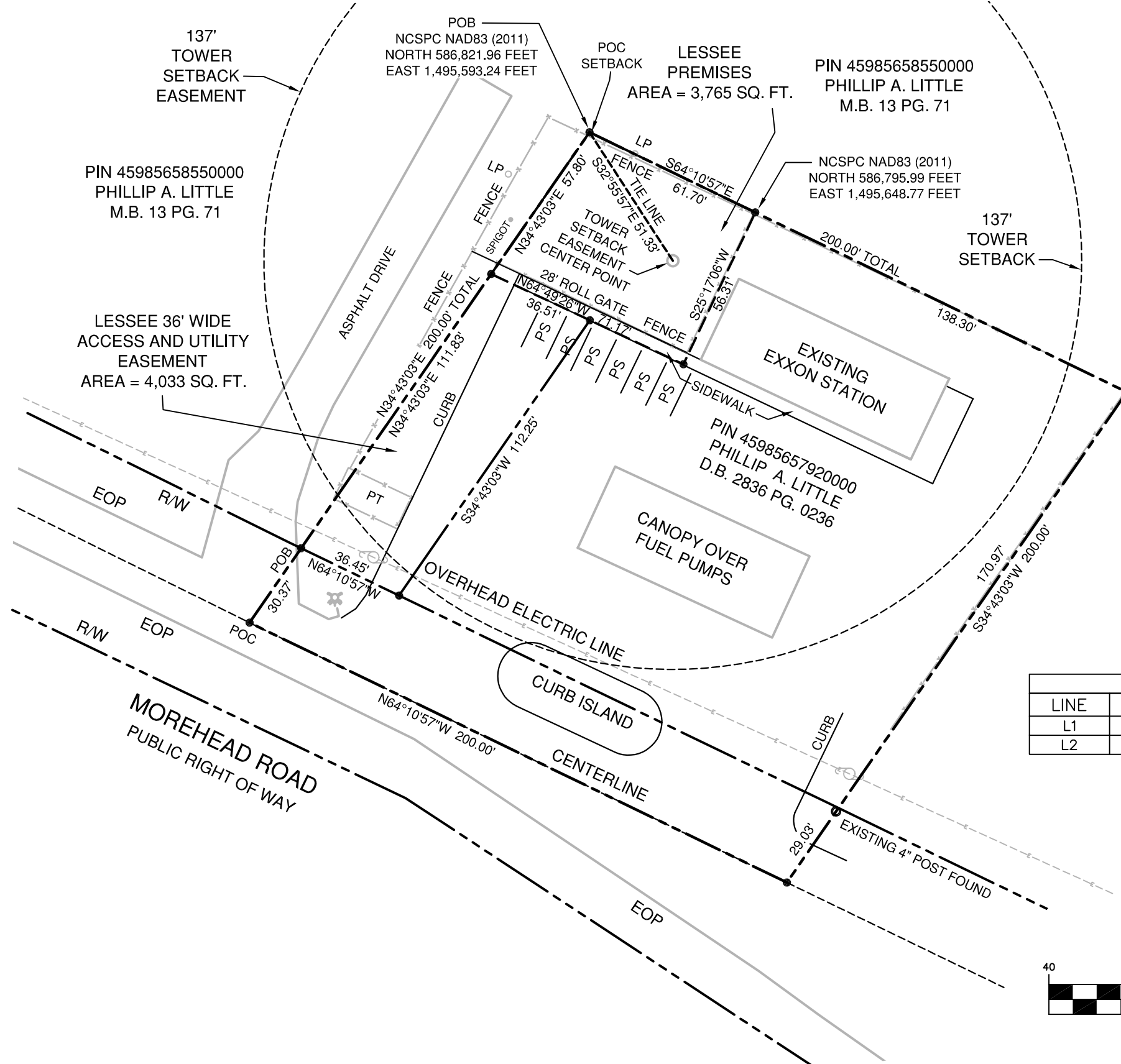
**SITE SURVEY**  
**PROPOSED TOWER**  
 DRAWING No. SHEET 1 OF 2  
 REV 3

CENTER OF PROPOSED TOWER  
 LAT = 35°21'01.7" N  
 LONG = 80°41'29.8" W  
 GROUND ELEVATION = 726.5' NAVD 88

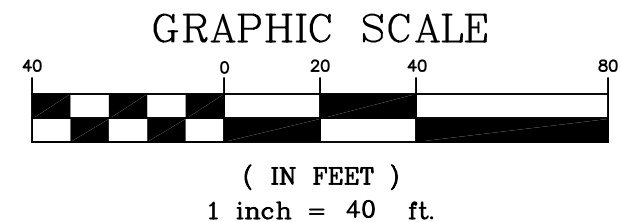


- LEGEND**
- = CALCULATED POINT
  - CP = CABLE PEDESTAL
  - D.B. = DEED BOOK
  - EOP = EDGE OF PAVEMENT
  - EV = ELECTRIC VAULT
  - IPF = 1/2" REBAR FOUND (#4)
  - IPS = 1/2" REBAR SET (#4)
  - LP = LIGHT POLE
  - MR = METER RACK
  - NCSP = NC STATE PLANE
  - P.B. = PLAT BOOK
  - POB = POINT OF BEGINNING
  - POC = POINT OF COMMENCEMENT
  - POT = POINT OF TERMINUS
  - PP = POWER POLE
  - PS = PARKING SPACE
  - PT = PROPANE TANK
  - R/W = RIGHT OF WAY
  - TP = TELEPHONE PEDESTAL
  - TRSF = TRANSFORMER

NC GRID (NAD 83)



LINE TABLE		
LINE	BEARING	LENGTH
L1	S 64°49'26" E	16.27'
L2	S 64°49'26" E	30.00'



*Edward L. Killough*  
 EDWARD L. KILLOUGH L-1519 DATE : 1/24/23  
 P.O. BOX 369  
 INDIAN TRAIL, NC 28079  
 TELEPHONE NO. 704 821-7111



NASCAR BP  
 4515 MOREHEAD ROAD  
 CONCORD, NC 28027  
 CABARRUS COUNTY



REVISIONS				
No.	DATE	DESCRIPTION	BY	CHK APP'D
3	1/24/23	ADDED 137' TOWER SETBACK AND REISSUED	EK	EK EK
2	6/27/19	REVISED ACCESS AND UTILITY EASEMENT AND REISSUED	EK	EK EK
1	3/23/18	CHANGED TEXT PER ATTORNEY REQUEST AND REISSUED	EK	EK EK
0	1/25/18	ISSUED AS FINAL DRAWING	EK	EK EK
A1	10/25/17	ISSUED FOR REVIEW	EK	EK EK

SITE SURVEY	
PROPOSED TOWER	
DRAWING No.	REV
SHEET 2 OF 2	3

Drawn by: EK Check by: EK Approved by: EK Date: 1/24/23

6 5 4 3 2 1



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**1.00 GENERAL NOTES**

- 1.01 ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE, LOCAL AND NATIONAL CODES, ORDINANCES AND OR REGULATIONS APPLICABLE TO THIS PROJECT.
- 1.02 THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE PROJECT MANAGER AND/OR ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH WORK. WHERE THERE IS A CONFLICT BETWEEN DRAWING AND VERIZON SPECIFICATIONS, THE VERIZON PROJECT ENGINEER SHOULD BE CONTACTED FOR CLARIFICATION.
- 1.03 ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE PROJECT MANAGER AND/OR ENGINEER SO THAT PROPER REVISIONS MAY BE MADE. MODIFICATION OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE PROJECT MANAGER AND/OR ENGINEER.
- 1.04 CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH SITE CONDITIONS AS SHOWN ON THE ATTACHED SITE PLAN AND/OR SURVEY DRAWINGS.
- 1.05 WAVEGUIDE BRIDGE AND EQUIPMENT CABINETS ARE SHOWN FOR REFERENCE ONLY. REFER TO SEPARATE DRAWINGS FOR SPECIFIC INFORMATION.
- 1.06 ALL FINISHED GRADES SHALL SLOPE MINIMUM 1/4 IN./FT. AWAY FROM EQUIPMENT IN ALL DIRECTIONS. CONTRACTOR SHALL SLOPE SWALES AS REQUIRED ALONG EXISTING TERRAIN TO DRAIN AWAY FROM COMPOUND AND ACCESS DRIVE.
- 1.07 THE PROPOSED TOWER AND TOWER FOUNDATIONS WERE DESIGNED BY OTHERS. TOWER INFORMATION PROVIDED ON THESE PLANS ARE PROVIDED FOR REFERENCE PURPOSES ONLY. NOTIFY ENGINEER OR PROJECT MANAGER OF ANY CONFLICTS OR DISCREPANCIES. CONTRACTOR TO OBTAIN COPY OF TOWER DESIGN DRAWINGS, IF AVAILABLE, FROM VERIZON PROJECT MANAGER TO CONFIRM COAX ROUTING AND ANTENNA MOUNT INFORMATION.
- 1.08 THE CONTRACTOR SHALL PROVIDE ADEQUATE EXCAVATION SLOPING, SHORING, BRACING, AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES.
- 1.09 UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE EXISTING ACCESS ROAD AND COMPOUND GRAVEL AREAS. ANY NEW FILL MATERIALS SHALL BE COMPACTED.
- 1.10 THE CONTRACTOR IS HEREBY NOTIFIED THAT PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND SHALL REQUEST A VERIFICATION AT THE CONSTRUCTION SITE OF THE LOCATIONS OF THEIR UNDERGROUND UTILITIES AND WHERE THEY MAY POSSIBLY CONFLICT WITH THE PLACEMENT OF IMPROVEMENTS AS SHOWN ON THESE PLANS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT WILL BE REQUIRED TO NOTIFY "NORTH CAROLINA 811" 48 HOURS IN ADVANCE OF PERFORMING ANY WORK BY CALLING THE TOLL FREE NUMBER (800) 632-4949 (OR 811). ANY UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR, AT NO EXPENSE TO THE OWNER.
- 1.11 CONTRACTOR TO PROVIDE DUMPSTER AND PORTABLE TOILET FACILITY DURING CONSTRUCTION.
- 1.12 CONTRACTOR TO PROVIDE STYMIE LOCK OR EQUIVALENT AS APPROVED BY VERIZON PROJECT MANAGER.
- 1.13 CONTRACTOR TO PROVIDE ANY NECESSARY SIGNAGE PER VERIZON PROJECT MANAGER'S INSTRUCTIONS. SEE DETAIL ON SHEET C11.

**2.00 GENERAL STRUCTURAL NOTES**

- 2.01 DESIGN: 2012 INTERNATIONAL BUILDING CODE WITH SOUTH CAROLINA AMENDMENTS.
- 2.02 STRUCTURAL STEEL W SHAPES SHALL CONFORM TO THE REQUIREMENTS OF ASTM A992 GR. 50. TUBING SHALL CONFORM TO ASTM A-500 GR. B. PIPE SHALL CONFORM TO ASTM A53 GR. B. CHANNELS AND ALL OTHER STRUCTURAL STEEL SHALL CONFORM TO ASTM A36 UNLESS OTHERWISE NOTED.
- 2.03 ALL DETAILING, FABRICATION, AND ERECTION OF STRUCTURAL STEEL, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE REQUIREMENTS OF THE AISC SPECIFICATIONS FOR BUILDINGS, LATEST EDITION.
- 2.04 WELDING SHALL BE DONE BY AN AWS CERTIFIED WELDER AND IN COMPLIANCE WITH AWS D1.1 ALL WELDS SIZES SHALL BE THE MAXIMUM ALLOWED BY THE MATERIAL BEING WELDED WITH E70XX ELECTRODES.
- 2.05 UNLESS OTHERWISE NOTED, ALL FIELD CONNECTIONS SHALL BE FULL DEPTH CONNECTIONS MADE WITH 3/4" DIAMETER HIGH STRENGTH BOLTS (ASTM A325-X).
- 2.06 CONNECTIONS SHALL BE DESIGNED AS BEARING TYPE WITH THREADS EXCLUDED FROM THE SHEAR PLANE.
- 2.07 HOT DIP GALVANIZE ALL STRUCTURAL STEEL, GRATING, HANDRAILS, AND HARDWARE. TOUCH UP ALL FIELD WELDS AND ABRADED AREAS WITH GALVANIZING PAINT. REPAIR OF ABRADED OR UNCOATED AREAS SHALL CONFORM TO THE LATEST VERSION OF ASTM A780-93A.
- 2.08 GALVANIZED STEEL SUBJECTED TO FIELD WELDING FOR STRUCTURAL CONNECTIONS SHALL BE PROPERLY PREPARED FOR A MINIMUM DISTANCE OF 1 INCH FROM THE WELD. APPROVED METHODS OF PREPARATION INCLUDE USING SUITABLE MASKING MATERIALS PRIOR TO GALVANIZING IN THE SHOP OR GRINDING THE COATING OFF IN THE FIELD. AFTER WELDING, APPLY EPOXY ZINC COATING SYSTEM SHERWIN-WILLIAMS AEROSOL ZINC CLAD 5 OR ENGINEER APPROVED EQUAL PER MANUFACTURER'S RECOMMENDATIONS.
- 2.09 CONTRACTOR / STEEL FABRICATOR SHALL VERIFY ALL DIMENSIONS, EXISTING COLUMN LOCATIONS, AND LOAD BEARING COLUMNS AS REQUIRED BEFORE FABRICATION OF ANY STEEL.
- 2.10 CONTRACTOR / STEEL FABRICATOR SHALL CONFORM TO THE MINIMUM EDGE DISTANCE REQUIREMENTS IN ACCORDANCE TO THE LATEST EDITION OF THE AISC MANUAL OF STEEL CONSTRUCTION.
- 2.11 ALL STRUCTURAL STEEL SHALL BE FABRICATED TO FIT AT BOLTED CONNECTIONS WITHIN 1/16 INCH TOLERANCE. STRUCTURAL STEEL SHALL NOT BE FLAME CUT UNDER ANY CIRCUMSTANCES WITHOUT APPROVAL OF THE ENGINEER.
- 2.12 CONTRACTOR / STEEL FABRICATOR SHALL CAP OR SEAL ALL PIPES/TUBES AS REQUIRED TO PREVENT RAINWATER INTRUSION.
- 2.13 CONTRACTOR / STEEL FABRICATOR SHALL SUBMIT SHOP DRAWINGS FOR ENGINEER'S REVIEW PRIOR TO ANY STEEL FABRICATION. AT THE CONTRACTOR'S OPTION, FIELD SPLICES MAY BE USED FOR ERECTION PURPOSES. IF FIELD SPLICES ARE USED, THE SHOP DRAWINGS SHALL INCLUDE ALL DETAILS FOR THE PROPOSED FIELD SPLICES.
- 2.14 AT THE CONTRACTORS OPTION, SHOP WELDS MAY BE USED INSTEAD OF FIELD WELDS.
- 2.15 GRATING SHALL BE 1 1/4" X 3/8" MCNICHOLS (OR APPROVED EQUAL). GRATING TO BE ATTACHED TO THE STRUCTURAL STEEL PLATFORM FRAMING USING STANDARD GRATING CLIPS IN ACCORDANCE WITH GRATING MANUFACTURERS' STANDARDS AND RECOMMENDATIONS.
- 2.16 IT IS ASSUMED THAT THE SHELTER IS ADEQUATE TO RESIST EQUIPMENT LOADING AND SPAN THE BEAM SPACINGS SHOWN. CONTRACTOR TO VERIFY MAXIMUM SPAN ALLOWANCES WITH THE SHELTER MANUFACTURER AND NOTIFY THE ENGINEER IF SPANS ARE NOT WITHIN TOLERANCE. CONNECT SHELTER TO STRUCTURAL STEEL PER MANUFACTURER'S RECOMMENDATIONS.



PROJECT INFORMATION:

SITE NAME:  
 NASCAR BP  
 SITE No.: 398899  
 PROJECT #: 20151304684  
 4515 MOREHEAD ROAD  
 CONCORD, NC 28027  
 CABARRUS COUNTY

PLANS PREPARED BY:

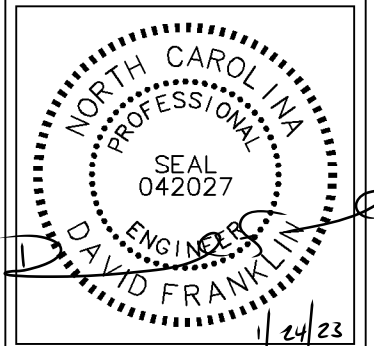


11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM  
 NC License F-0102

REV: DATE: ISSUED FOR:

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1	01/18/23	CONSTRUCTION	DMF
0	04/10/19	CONSTRUCTION	DMF

LICENSER:



KHA PROJECT NUMBER:

018985878

DRAWN BY: CHECKED BY:

KAB TDM

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

N1



8821 RESEARCH DRIVE  
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:  
NASCAR BP  
SITE No.: 398899  
PROJECT #: 20151304684  
4515 MOREHEAD ROAD  
CONCORD, NC 28027  
CABARRUS COUNTY

PLANS PREPARED BY:

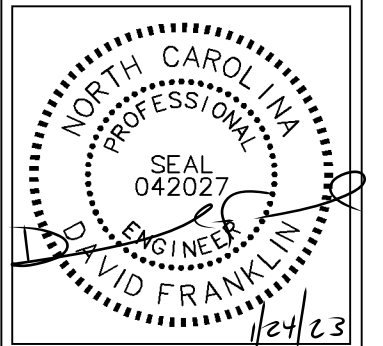


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LICENSER:



KHA PROJECT NUMBER:

018985878

DRAWN BY: CHECKED BY:

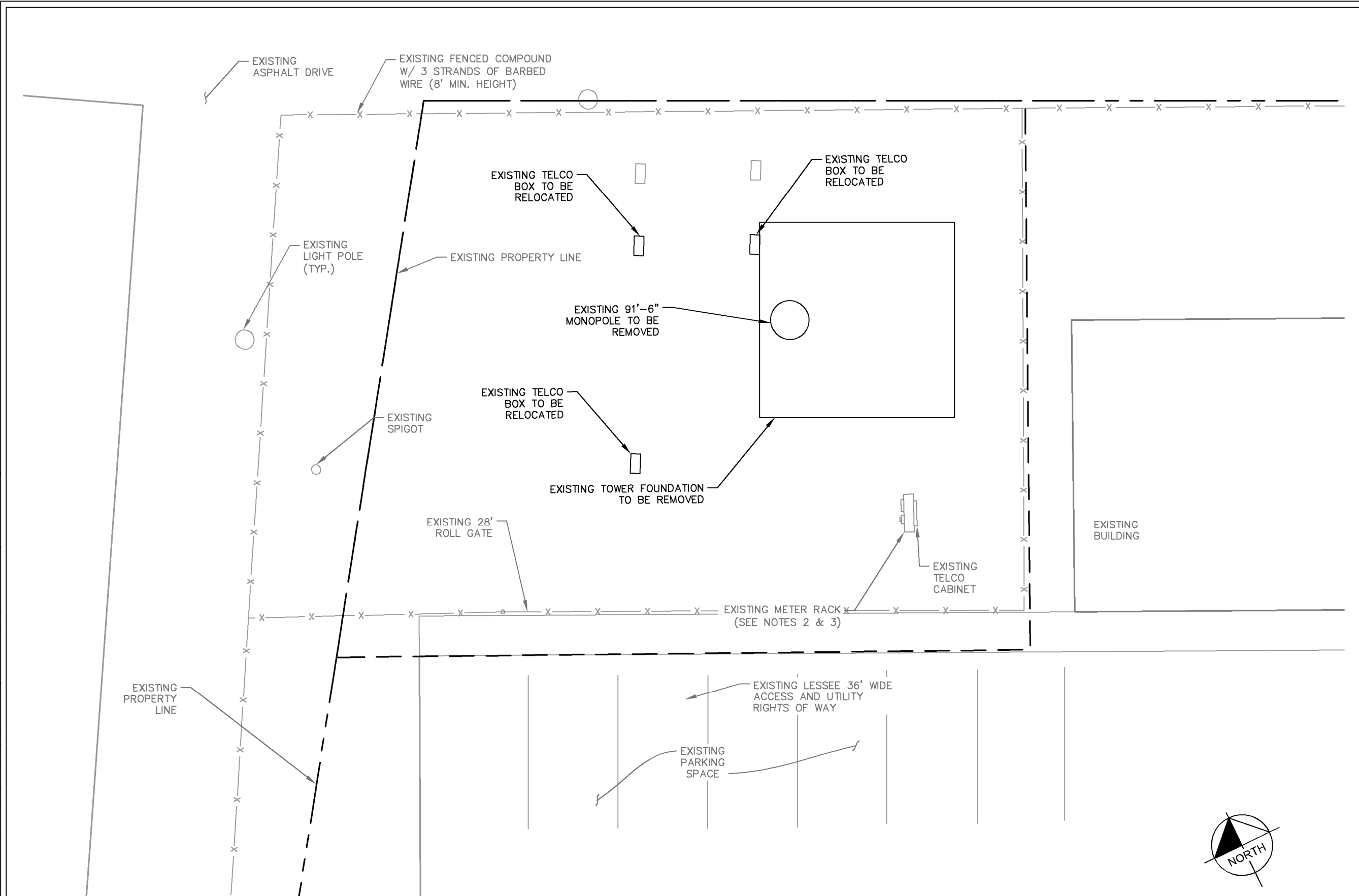
KAB TDM

SHEET TITLE:

DEMO PLAN

SHEET NUMBER:

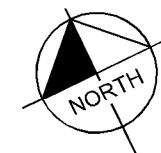
C0



DEMO NOTE:

- EXISTING TOWER FOUNDATION AND TOWER TO BE REMOVED BY VZW.
- EXISTING LOAD CENTER, GENERATOR PLUG AND COILED SO CORD TO BE REMOVED.
- EXISTING CONDUITS ON GROUND WEST OF EXISTING H-FRAME TO BE REMOVED BY GC.

1 DEMO PLAN  
C0 SCALE: 1" = 10'



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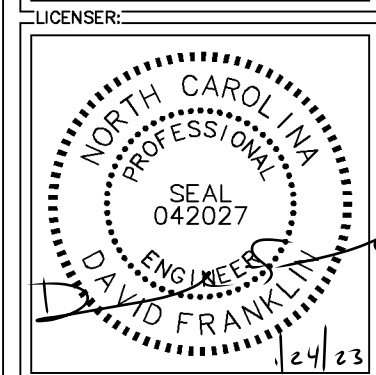
TOWER SETBACKS TO PROPERTY LINES (FROM TOWER CENTER)	
NORTH	27'-2"
SOUTH	29'-5"
EAST	24'-7"
WEST	41'-2"



PROJECT INFORMATION:  
 SITE NAME:  
 NASCAR BP  
 SITE No.: 398899  
 PROJECT #: 20151304684  
 4515 MOREHEAD ROAD  
 CONCORD, NC 28027  
 CABARRUS COUNTY

PLANS PREPARED BY:  
**Kimley»Horn**  
 11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM  
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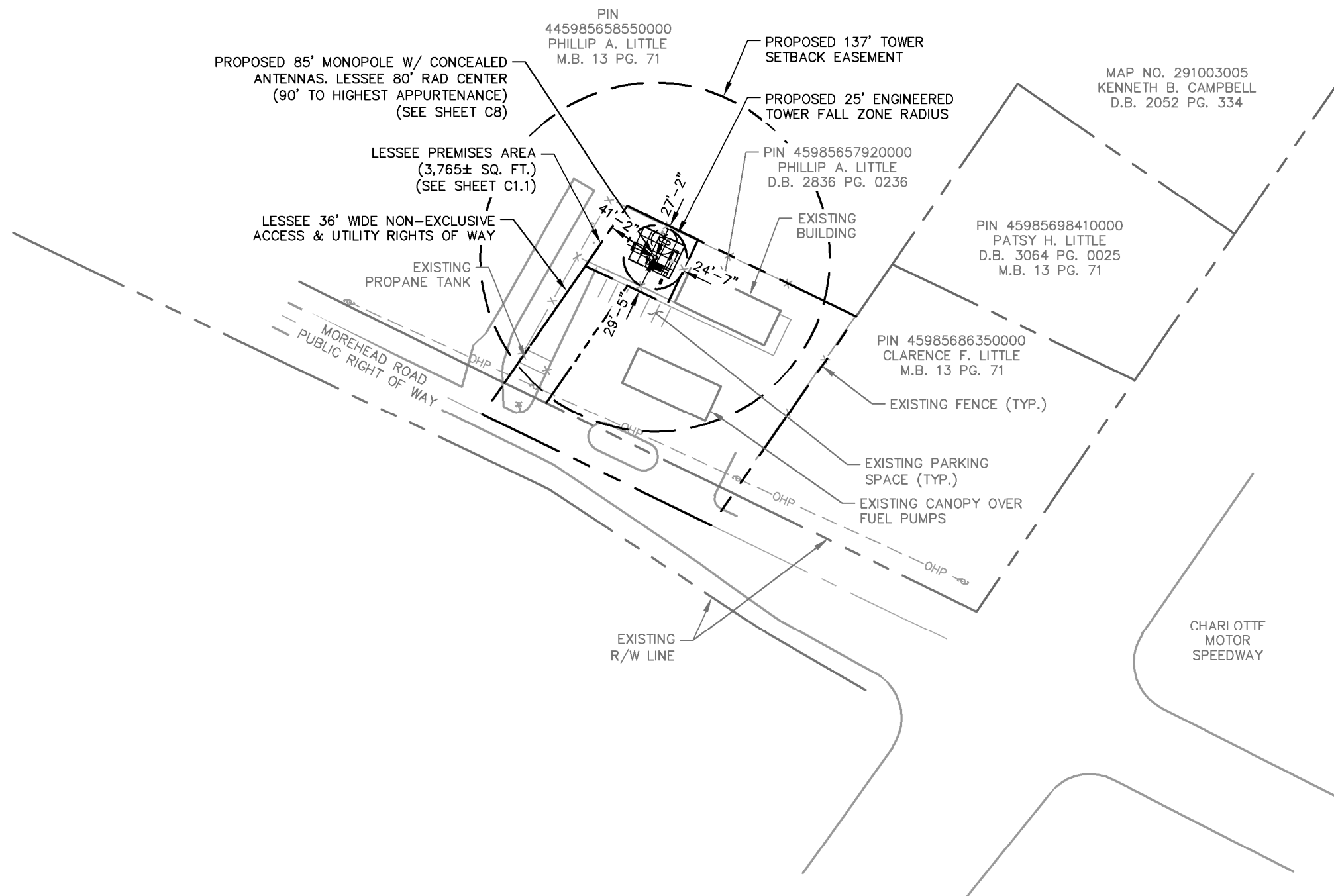
LICENSER:  
 KHA PROJECT NUMBER:  
 018985878

DRAWN BY: KAB CHECKED BY: TDM

SHEET TITLE:

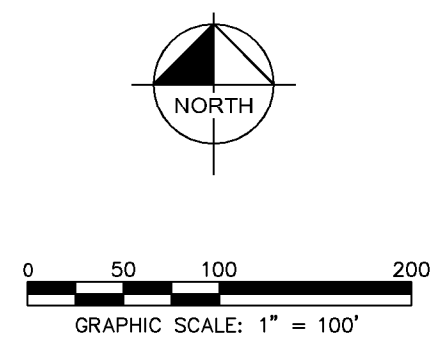
**OVERALL PARCEL PLAN**

SHEET NUMBER:  
**C1**



**SURVEY NOTE:**  
 1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.  
 2. PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY EDWARD L. KILLOUGH DATED 01/25/18 AND SITE VISIT ON 05/08/18.

**1 OVERALL PARCEL PLAN**  
**C1** SCALE: 1" = 100'



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**verizon**

8821 RESEARCH DRIVE  
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:  
NASCAR BP  
SITE No.: 398899  
PROJECT #: 20151304684  
4515 MOREHEAD ROAD  
CONCORD, NC 28027  
CABARRUS COUNTY

PLANS PREPARED BY:

**Kimley»Horn**

11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM  
NC License F-0102

PIN  
445985658550000  
PHILLIP A. LITTLE  
M.B. 13 PG. 71

PROPOSED 137'  
TOWER SETBACK  
EASEMENT

PROPOSED 25' ENGINEERED  
TOWER FALL ZONE RADIUS

PROPOSED 85' MONOPOLE W/ CONCEALED  
ANTENNAS. LESSEE 80' RAD CENTER  
(90' TO HIGHEST APPURTENANCE)  
(SEE SHEET C8)

LESSEE PREMISES AREA  
(3,765± SQ. FT.)  
(SEE SHEET C2)

LESSEE 36' WIDE NON-EXCLUSIVE  
ACCESS & UTILITY RIGHTS OF WAY

EXISTING PROPANE  
TANK AREA

EXISTING  
BUILDING

EXISTING PARKING  
SPACE (TYP.)

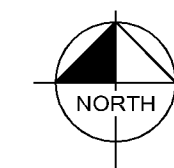
PIN 45985657920000  
PHILLIP A. LITTLE  
D.B. 2836 PG. 0236

EXISTING FENCE (TYP.)

EXISTING CANOPY OVER  
FUEL PUMPS

PIN 45985686350000  
CLARENCE F. LITTLE  
M.B. 13 PG. 71

MOREHEAD ROAD  
PUBLIC RIGHT OF WAY



**1** OVERALL SITE PLAN  
**C1.1** SCALE: 1" = 25'

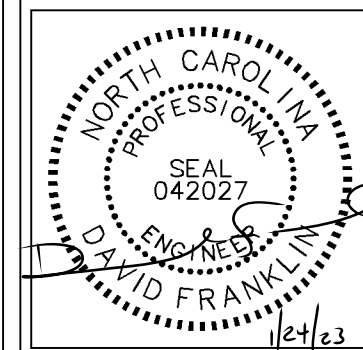
**SURVEY NOTE:**

- 1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
- 2. PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY EDWARD L. KILLOUGH DATED 01/25/18 AND SITE VISIT ON 05/08/18.

REV: DATE: ISSUED FOR: BY:

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0	04/10/19	CONSTRUCTION	DMF

LICENSER:



KHA PROJECT NUMBER:

018985878

DRAWN BY: CHECKED BY:

KAB

TDM

SHEET TITLE:

**OVERALL SITE  
PLAN**

SHEET NUMBER:

**C1.1**

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PROJECT INFORMATION:

SITE NAME:  
NASCAR BP  
SITE No.: 398899  
PROJECT #: 20151304684  
4515 MOREHEAD ROAD  
CONCORD, NC 28027  
CABARRUS COUNTY

PLANS PREPARED BY:

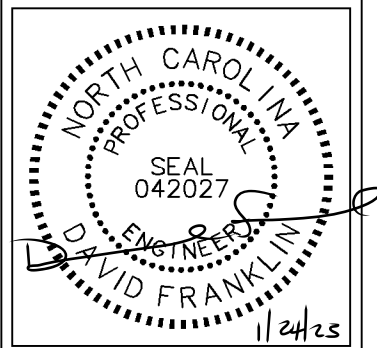
**Kimley»Horn**

11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM  
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LICENSER:



KHA PROJECT NUMBER:

018985878

DRAWN BY: CHECKED BY:

KAB TDM

SHEET TITLE:

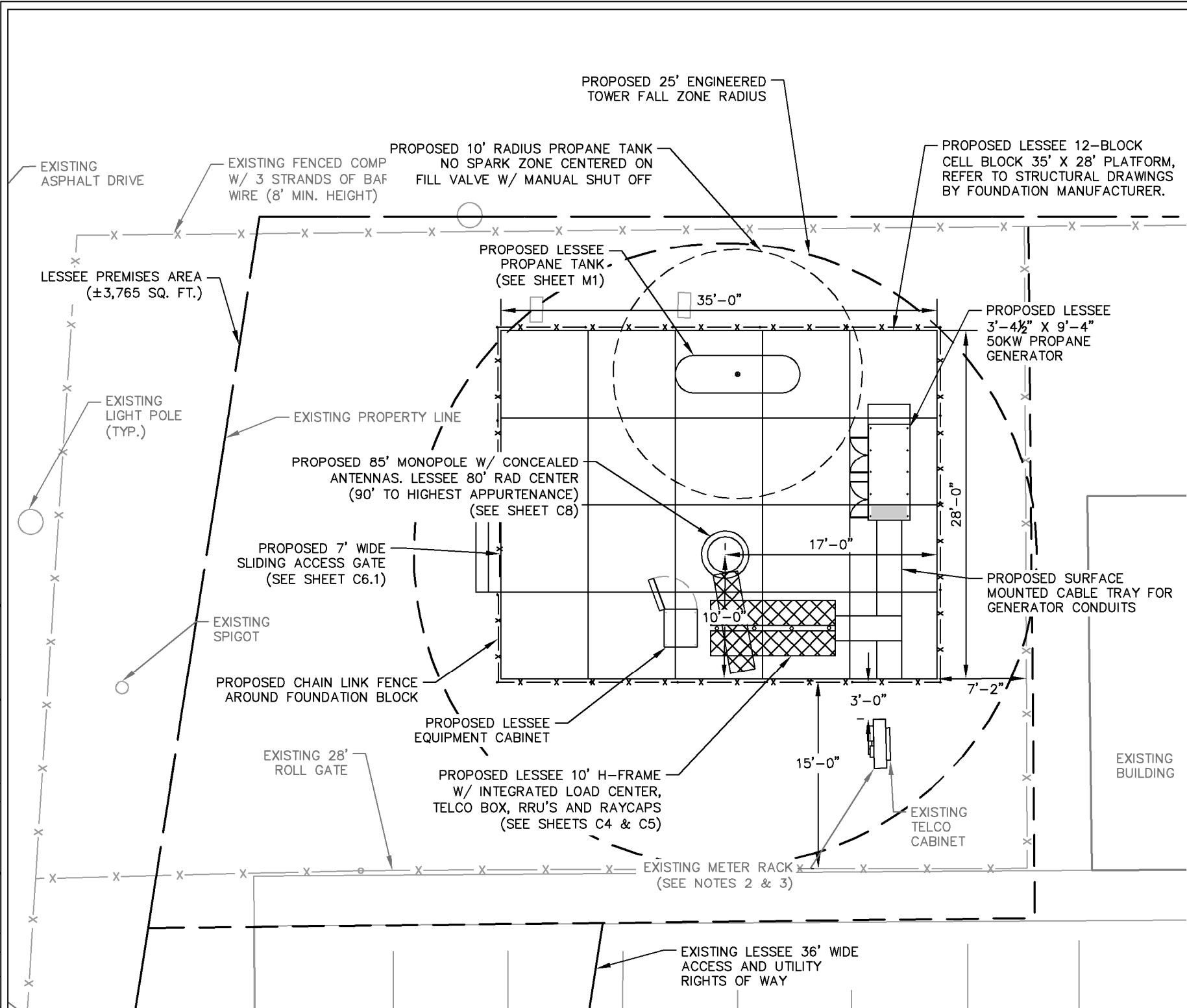
**SITE PLAN**

SHEET NUMBER:

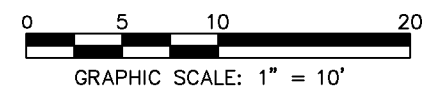
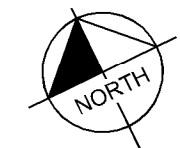
**C2**

**SITE NOTES:**

1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
2. PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY EDWARD L. KILLOUGH DATED 01/25/18 AND SITE VISIT ON 05/08/18.
3. CONTRACTOR TO CONFIRM WITH VERIZON CONSTRUCTION MANAGER THAT THE EQUIPMENT SHOWN HAS BEEN ORDERED/SCHEDULED FOR DELIVERY TO THIS SITE.
4. THE BASIS OF EQUIPMENT DESIGN INCLUDES ONE (1) RF CABINET AND ONE (1) FUTURE BATTERY CABINET.
5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND MODIFYING SCOPE OF WORK TO ACCOMMODATE ANY CHANGES IN THE EXACT EQUIPMENT PROCURED BY VERIZON WIRELESS. COORDINATE ANY CHANGES WITH VERIZON WIRELESS CONSTRUCTION MANAGER.
6. ROUTE FIBER UP TOWER PER STRUCTURAL ANALYSIS BY TOWER OWNER.
7. TOWER DIMENSIONS SHOWN ON THIS PLAN ARE FOR TOWER CENTER LOCATION. CONTRACTOR TO OBTAIN COPY OF TOWER ERECTION DRAWINGS FROM VERIZON CONSTRUCTION MANAGER PRIOR TO DRILLING TOWER FOUNDATIONS. CASSIONS AND TOWER SHOWN ON THIS PLAN ARE ILLUSTRATIVE, SEE DESIGN DRAWING BY OTHERS. DO NOT SCALE.
8. FASTEN PROPANE TANK SUPPORTS USING SIMPSON STRONG-TIE TITEN HD CONCRETE ANCHORS. MINIMUM ANCHOR DIAMETER IS 1/2"Ø, MINIMUM EMBEDMENT IS 2 1/2" AND MINIMUM CLEAR DISTANCE FROM ANCHOR TO EDGE OF CONCRETE IS 2". INSTALL ANCHOR IN STRICT ACCORDANCE WITH ANCHOR MANUFACTURER'S INSTALLATION INSTRUCTIONS. CONTRACTOR TO NOTIFY ENGINEER PRIOR TO PLACING PAD AND TANK IF THE ANCHOR REQUIREMENTS LISTED ABOVE CANNOT BE ACCOMMODATED DUE TO ACTUAL TANK PROCURED. CONTRACTOR MAY SUBMIT ALTERNATIVE ANCHOR PRODUCT FOR ENGINEER'S APPROVAL. SUBMITTAL SHALL INCLUDE ANCHOR TECHNICAL DATA AND ICC-ES AC193 APPROVAL FOR USE WITH CRACKED CONCRETE.
9. CELLBLOCKS AND RELATED HARDWARE IS FURNISHED AND DELIVERED BY VERIZON AND INSTALLED BY GC.
10. GC TO PROVIDE MINIMUM 3" THICK LEVEL COMPACTED SAND BED FOR SUPPORT OF CELLBLOCKS FOUNDATION.



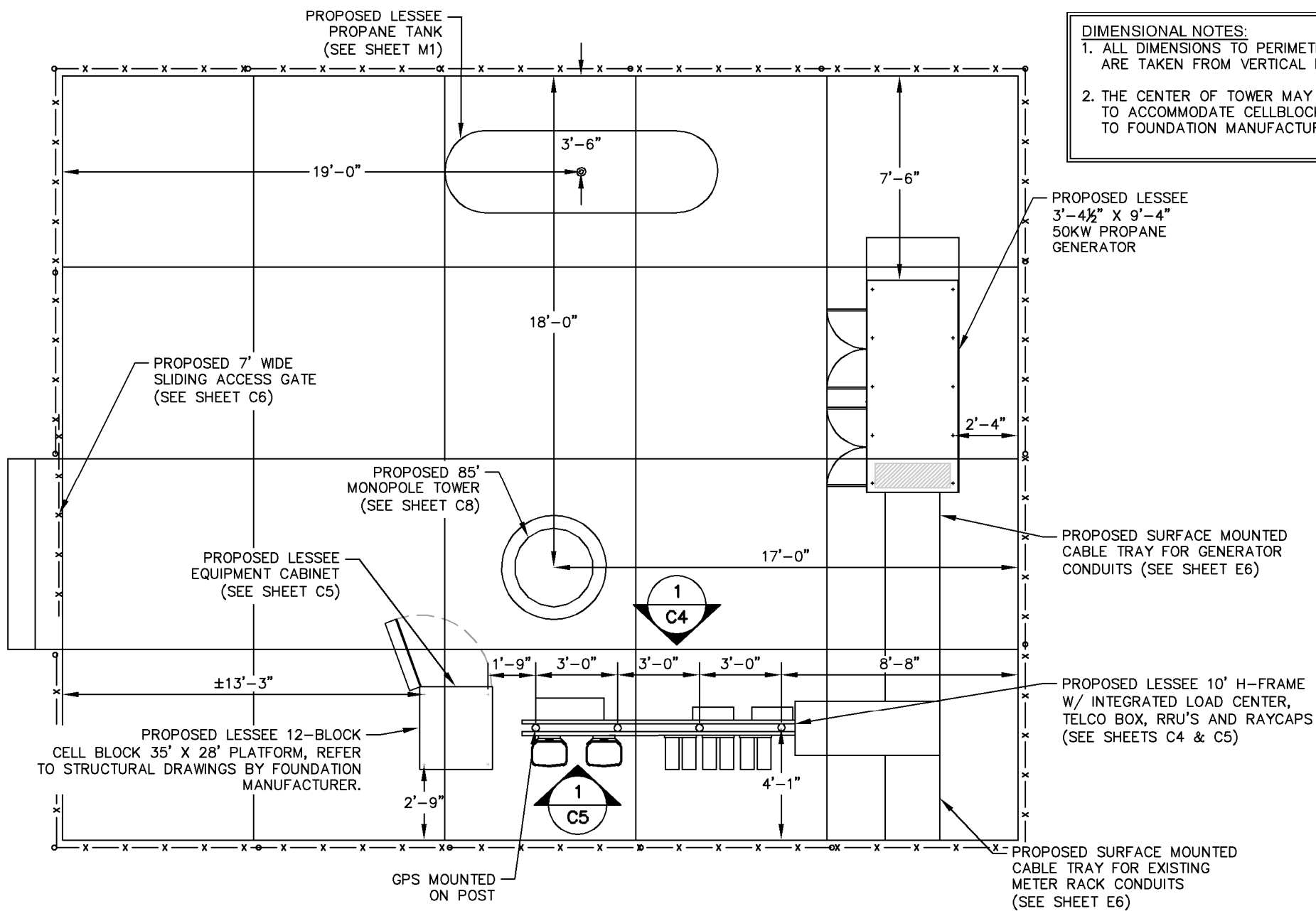
**1 SITE PLAN**  
**C2 SCALE: 1" = 10'**



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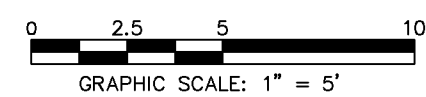
**DIMENSIONAL NOTES:**  
 1. ALL DIMENSIONS TO PERIMETER OF CELLBLOCKS PAD ARE TAKEN FROM VERTICAL FACE OF CELLBLOCKS.  
 2. THE CENTER OF TOWER MAY SHIFT LOCATION SLIGHTLY TO ACCOMMODATE CELLBLOCKS REINFORCING, REFER TO FOUNDATION MANUFACTURES DRAWINGS.

**1**  
**C3** **EQUIPMENT PAD LAYOUT**  
 SCALE: 1" = 5'

**EQUIPMENT PAD/ROUTING NOTES:**

- REFER TO THE SITE PLAN FOR EQUIPMENT PAD LOCATION AND ORIENTATION.
- RUN 2" FLEX TELCO CONDUIT FROM BOTTOM OF TELCO BOX TO SIDE OF RF CABINET WITH CHASE NIPPLE THROUGH FACTORY KNOCKOUT.
- RUN 2" FLEX POWER CONDUIT AND 1" FLEX ALARM CONDUIT FROM BOTTOM OF ILC TO SIDE OF RF CABINET WITH CHASE NIPPLES THROUGH FACTORY KNOCKOUTS.
- RUN 2" FLEX FIBER CONDUIT FROM BOTTOM OF OVP TO SIDE OF RF CABINET WITH CHASE NIPPLE THROUGH FACTORY KNOCKOUT.
- RUN (1) 1 1/2" FLEX POWER CONDUIT FOR EVERY (6) RRU CIRCUITS FROM BOTTOM OF OVP TO SIDE OF RF CABINET WITH CHASE NIPPLE THROUGH FACTORY KNOCKOUT.
- SUPPORT FLEX CONDUIT ON HORIZONTAL H-FRAME RAILS OR ON VERTICAL SITE STRUT SNT10 RAILS ADDED TO H-FRAME FOR CONDUIT/CABLE MANAGEMENT.

- RUN HYBRID CABLE FOR TOWER MOUNTED RRU'S OVERHEAD ON TRAPEZE SUSPENDED FROM WAVE GUIDE BRIDGE. SWEEP DOWN ONTO H-FRAME RAILS, THEN LOOP UNDER OVP AND CONNECT TO BOTTOM OF OVP. ATTACH GROUND KITS TO HYBRID CABLE BEFORE LOOPING UNDER OVP, AND BOND TO TDSGA GROUND BAR AT BASE OF H-FRAME.
- RUN COAX CABLE FOR GROUND MOUNTED RRU'S (IF USED) OVERHEAD ON TRAPEZE SUSPENDED FROM WAVE GUIDE BRIDGE. TERMINATE COAX ON ICE BRIDGE AND TRANSITION TO JUMPERS JUST BEFORE REACHING H-FRAME. ATTACH GROUND KITS TO COAX CABLE ON TOWER SIDE OF LAST ICE BRIDGE POST AND BOND TO TDSGA GROUND BAR NEAR TOP OF POST.
- GPS ANTENNA TO BE MOUNTED TO STANDARD HEIGHT POST WITH EXTENDED MOUNTING PIPE, USING COMMSCOPE GPS-U MOUNTING KIT. MOUNT AS NEAR AS AS PRACTICAL TO RBA84 CABINET.
- BOLT CABINETS AND GENERATOR TO SLAB USING FASTENERS SPECIFIED BY EQUIPMENT MANUFACTURER IN FACTORY PROVIDED MOUNTING HOLES.

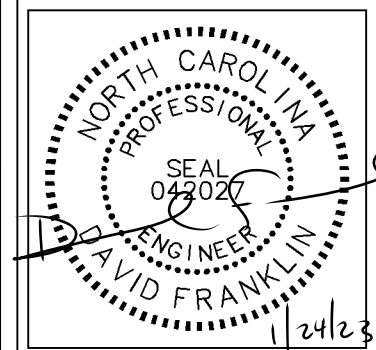


**PROJECT INFORMATION:**  
 SITE NAME:  
 NASCAR BP  
 SITE No.: 398899  
 PROJECT #: 20151304684  
 4515 MOREHEAD ROAD  
 CONCORD, NC 28027  
 CABARRUS COUNTY

**PLANS PREPARED BY:**  
**Kimley»Horn**  
 11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM  
 NC License F-0102

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ BY: \_\_\_\_\_

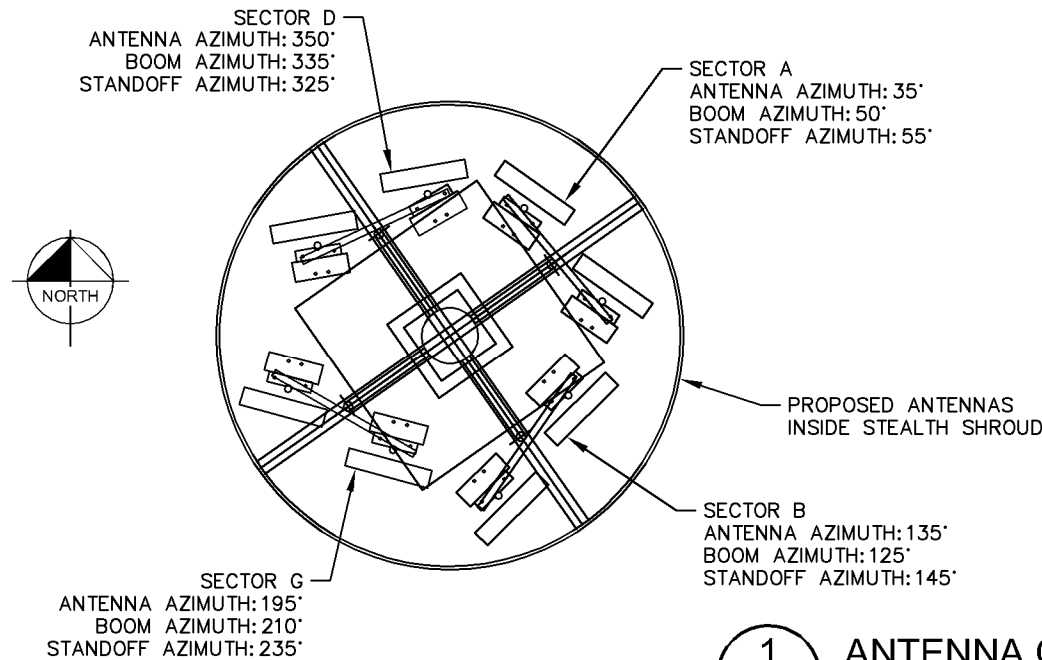
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KHA PROJECT NUMBER:  
 018985878  
 DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
 KAB TDM

SHEET TITLE:  
**EQUIPMENT PAD LAYOUT**

SHEET NUMBER:  
**C3**

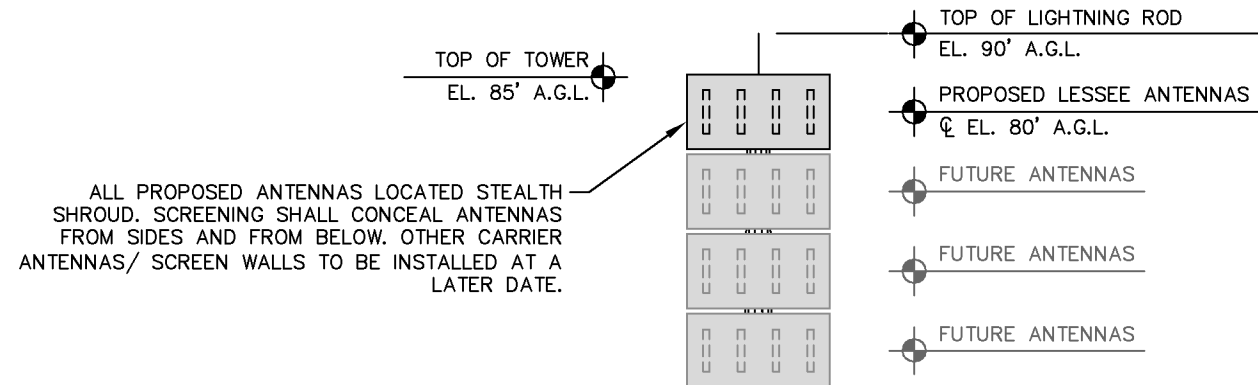


**1**  
**C8** **ANTENNA ORIENTATION PLAN**  
(NOT TO SCALE, FOR ILLUSTRATIVE PURPOSES ONLY, SEE STRUCTURAL ANALYSIS BY OTHERS TO CONFIRM ANTENNA MOUNT TYPE)

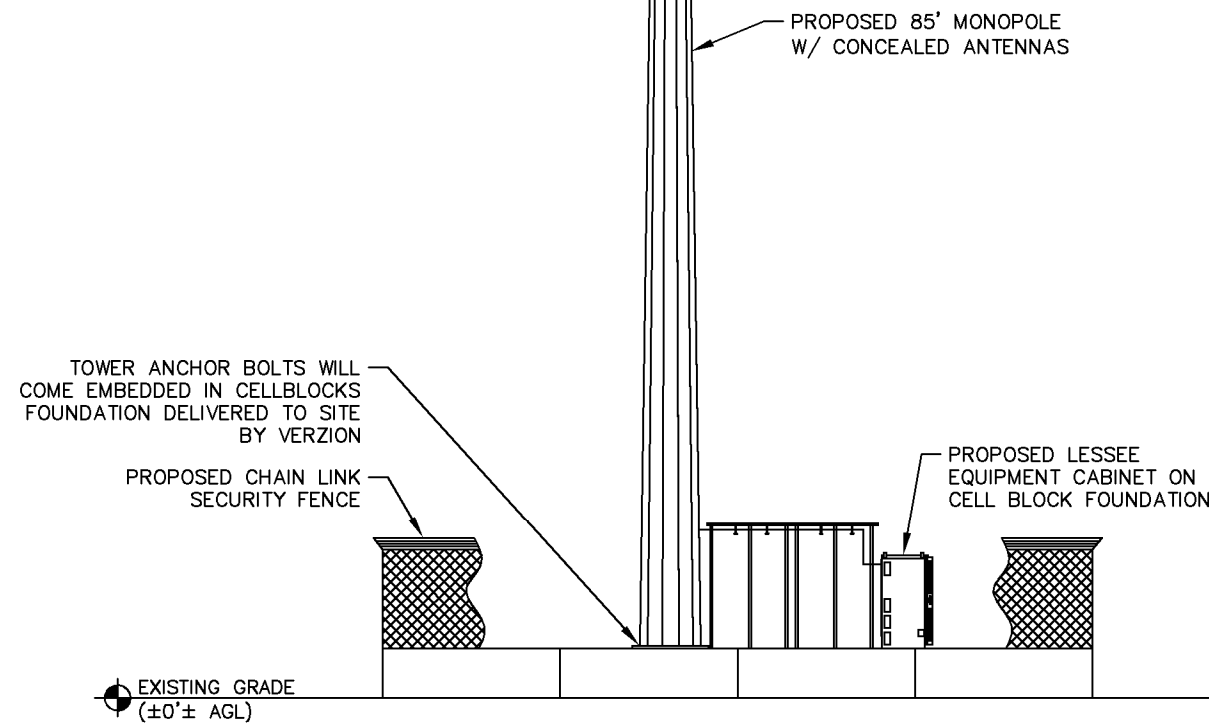
ANTENNA SECTOR	AZIMUTH IN DEGREES	MECHANICAL DOWN TILT	LICENSED FREQUENCY	ANTENNA* (QTY) MAKE/MODEL	REMOTE RADIO UNIT	COMPOSITION CABLES			TOTAL HYBRID
						LENGTH	COAX QTY	COAX SIZE	
A1	35°	3°	700	(1) AMPHENOL/HEX338CW0000G	4449	-	-	-	5
			850			-	-	-	
			1900			-	-	-	
A4	35°	3°	700	(1) AMPHENOL/HEX338CW0000G	4449	-	-	-	5
			850			-	-	-	
			2100			-	-	-	
B1	135°	3°	700	(1) AMPHENOL/HEX338CW0000G	4449	-	-	-	5
			850			-	-	-	
			1900			-	-	-	
B4	135°	3°	700	(1) AMPHENOL/HEX338CW0000G	4449	-	-	-	5
			850			-	-	-	
			2100			-	-	-	
G1	195°	3°	700	(1) AMPHENOL/HEX338CW0000G	4449	-	-	-	5
			850			-	-	-	
			1900			-	-	-	
G4	195°	3°	700	(1) AMPHENOL/HEX338CW0000G	4449	-	-	-	5
			850			-	-	-	
			2100			-	-	-	
D1	350°	3°	700	(1) AMPHENOL/HEX338CW0000G	4449	-	-	-	5
			850			-	-	-	
			1900			-	-	-	
D4	350°	3°	700	(1) AMPHENOL/HEX338CW0000G	4449	-	-	-	5
			850			-	-	-	
			2100			-	-	-	

**NOTES:**

- ALL INFORMATION ON THIS PAGE IS PROVIDED BY VERIZON WIRELESS AND/OR OTHERS AND IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL CONTACT THE VERIZON WIRELESS CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION FOR ALL DETAILED ANTENNA, AND COAX CABLE INFORMATION.
- REFER TO STRUCTURAL ANALYSIS BY TOWER OWNER FOR ANALYSIS OF PROPOSED TOWER.
- IT IS UNDERSTOOD THAT KIMLEY-HORN MAKES NO WARRANTY, EITHER EXPRESSED OR IMPLIED, FINDINGS, DESIGNS, RECOMMENDATIONS, SPECIFICATIONS, OPINION, OR PROFESSIONAL ADVICE RELATING TO THE STRUCTURAL ADEQUACY OF THE PROPOSED TOWER OR ATTACHMENT OF ANTENNAS OR OTHER APPURTENANCES.



ALL PROPOSED ANTENNAS LOCATED STEALTH SHROUD. SCREENING SHALL CONCEAL ANTENNAS FROM SIDES AND FROM BELOW. OTHER CARRIER ANTENNAS/ SCREEN WALLS TO BE INSTALLED AT A LATER DATE.



**2**  
**C8** **MONOPOLE TOWER ELEVATION - NW VIEW (FACING SW)**  
NOT TO SCALE

**NOTES:**

- ALL PROPOSED ATTACHMENTS TO TOWER BASED ON TOWER DESIGN DRAWINGS BY OTHERS (SEE GENERAL NOTE 1.07, SHEET N1).
- THE TOWER ELEVATION SHOWN IS FOR REFERENCE ONLY.
- COAX/FIBER CABLE LENGTHS ARE APPROXIMATE. CONTRACTOR TO VERIFY CORRECT LENGTH IN FIELD AT TIME OF CONSTRUCTION.
- PROPOSED TOWER WILL BE GALVANIZED STEEL-GRAY IN COLOR.



PROJECT INFORMATION:  
SITE NAME:  
NASCAR BP  
SITE No.: 398899  
PROJECT #: 20151304684  
4515 MOREHEAD ROAD  
CONCORD, NC 28027  
CABARRUS COUNTY

PLANS PREPARED BY:  
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0	04/10/19	CONSTRUCTION	DMF

LICENSER:  
**FOR ILLUSTRATIVE PURPOSES ONLY - NO SIGNATURE REQUIRED**

KHA PROJECT NUMBER:  
018985878  
DRAWN BY: KAB CHECKED BY: TDM

SHEET TITLE:  
**ANTENNA AND TOWER ELEVATION DETAILS**

SHEET NUMBER:  
C8

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# ORDINANCE COMPLIANCE STATEMENT AND NARRATIVE – June 1, 2023

Application: **Special Use**

Verizon Site Name: **NASCAR BP**

**Project Description:** Verizon proposes to place an 85’ permanent tower in the area that its annual temporary tower has been installed for the past several years.

**Tower Address:** 4515 Morehead Road, Concord NC 28027; PIN 45985657920000; zoning C-2

**Property Owner:** Little



**Note on the google earth aerial photo and street view, you can see the that this has been the area used for a temporary tower.**





**This parcel is located in close proximity to the motor speedway, which is the main focus of the network objectives.**

Map Cabarrus

Map Layers Share Property Open Data

Property Data

Physical Address: 4515 MOREHEAD RD CONCORD NC 28027

PIN: 45985657920000

Property Real ID: 02-046 -0007.10

Account Name: LITTLE PHILLIP A

Mailing Address: —

Land Units: 1 LT

Land Value: \$733000

Building Value: \$259170

OBXF Value: \$33330

Assessed Value: \$1025500

Market Value: \$1025500

Sale Date: 4/2000

Sale Price: —

Dist. Book: 00000

Lat: 35.350433590288404 Lon: -80.69165396701922

## NARRATIVE

Verizon Wireless has been utilizing a temporary tower in this area for the past several years to handle additional crowds associated with NASCAR events. However, the need for a permanent solution has now presented itself, and Verizon Wireless would like to change the temporary structure to a permanent location.

### ORDINANCE COMPLIANCE STATEMENT

Verizon Wireless offers this Ordinance Compliance Statement in support of its application pursuant to the Homer Township Zoning Ordinance.

#### 8.4 Accessory Uses

##### 8.4.1 PERMITTED ACCESSORY USES

- A. The uses listed in Column A, below, shall be permitted by right (unless noted otherwise) in any of the zoning districts set forth in Column B, below:

(A) Accessory Use	(B) Zoning Districts
Wireless Telecommunications Antennas or Tower (subject to § 8.7)	All Zoning Districts
Other Telecommunication Antennas or Tower	See Use Table (Article 8)

**We will begin by analyzing how this project meets all of the criteria of Section 8.7 of the City of Concord Development Ordinance.**

#### 8.7 Wireless Communications Facilities Generally

##### 8.7.1 Purpose and Applicability

- A. This Section 8.7 applies to all telecommunications facilities except as specifically noted otherwise. Special procedures for qualifying small wireless facilities, qualifying utility poles, and qualifying city utility poles are addressed separately in Section 8.9.
- B. The purpose of this section is to:
1. Minimize the impacts of wireless communication facilities (WCFs) on surrounding areas by establishing standards for location, structural integrity and compatibility;
  2. Encourage the location and collocation of wireless communication equipment on existing structures thereby minimizing new visual, aesthetic and public safety impacts, effects upon the natural environment and wildlife, and to reduce the need for additional antenna-supporting structures;
  3. Encourage coordination between suppliers of wireless communication services in the City of Concord;

**This project is not a small wireless facility, qualifying utility pole or a qualifying city utility pole. Therefore Section 8.7 applies.**

4. Respond to the policies embodied in the Telecommunications Act of 1996 and section 6409 of the Middle Class Tax Relief and Job Creation Act of 2012, 47 U.S.C. § 1455(a) and in accordance with the rules promulgated by the Federal Communications Commission;
5. Protect the unique natural beauty and rural character of the City while meeting the needs of its citizens to enjoy the benefits of wireless communications services; and
6. Encourage the use of public lands, buildings and structures as locations for wireless telecommunications infrastructure as a method to establish a precedence of quality concealment products that will minimize the aesthetic impact of related infrastructure while generating revenue for the City.

**Verizon Wireless is aware of these general provisions and affirmatively states that this project is in compliance with the spirit of the ordinance.**








- C. Nothing in this ordinance shall be interpreted to excuse compliance with, or to be in lieu of any other requirement of state or local law, except as specifically provided herein. Without limitation, the provisions of this ordinance do not permit placement of telecommunications facilities on privately-owned utility poles or wireless support structures, or on private property, without the consent of the property owner or any person who has an interest in the property

**Verizon Wireless maintains a leasehold interest in the subject property that fully allows the scope of this zoning application as well as the ongoing use.**

#### 8.7.2 SITING

WCFs and associated equipment shall be permitted in accordance with the use table in Section 8.2 subject to the following:

- A. Siting of a non-qualifying WCF shall be in accordance with the following siting alternatives hierarchy:

Priority	Facility/ Structure Type	Location	Example
Ideal 	Concealed Attached Wireless Communication Facility	City or County Owned Site	
		Other Publicly Owned Site	
		Non-Publicly Owned Site	
	Collocation or Combining on Existing Antenna Supporting Structure	City or County Owned Site	
		Other Publicly Owned Site	
		Non-Publicly Owned Site	
 Less Desired	Freestanding Concealed or Nonconcealed Attached WCF	Owned Site City or County Owned Site	 or 
		Other Publicly Owned Site	
		Non-Publicly Owned Site	
	Freestanding WCF	City or County Owned Site	

Verizon Wireless is aware of this chart and has done its very best to find alternatives. As you will see below, however, this project is a Freestanding non-concealed WCF on non-publicly owned property.



B. In determining the order of ranking preference, the facility/structure type shall be evaluated first, and only after the facility/structure type has been identified shall the location be evaluated. Where a lower ranked alternative is proposed, the applicant must file relevant information as indicated below, including, but not limited to an affidavit by a radio frequency engineer demonstrating that despite diligent efforts to adhere to the established hierarchy within the Geographic Search Area, as determined by a qualified radio frequency engineer, higher ranked options are not technically feasible, practical, or justified given the location of the proposed WCF and the existing land uses of the subject property and surrounding properties within 300 feet of the subject property.

**A letter from the radio frequency engineer is included with this application package. This was the only viable option in this area.**

- C. In all residential districts, non-qualifying WCFs shall only be permitted on parcels with a minimum lot size of five acres.
- D. Nonconcealed attached non-qualifying WCFs shall only be allowed on transmission towers, buildings, water towers, subject to approval of the Administrator.

**As noted above, this property is not located in a residential district. This project similarly does not involve a non-concealed attached WCF.**

Jurisdiction:	Concord
Zoned:	C-2
Watershed Class:	Not within a watershed district.
Watershed Name:	Not within a watershed district.
Watershed PCA:	Not within a watershed district.
Mobile Home District:	Not within an overlay district.



- E. In addition to locations authorized for non-concealed, attached WCFs in subsection D., concealed, attached WCFs shall be allowed on

transmission towers, buildings, water towers, utility poles in city right-of-way, city utility poles, and light stanchions, subject to approval of the Administrator.

**This project is not located in a right of way or on a utility pole or light stanchion.**

- F. WCFs, wireless support structures, and associated equipment shall be constructed and maintained in conformance with all applicable building code requirements.

**Verizon Wireless is aware of this ordinance provision.**

- G. WCFs and associated equipment shall not interfere with normal radio and television reception in the vicinity.

**Verizon Wireless is aware of this ordinance provision and operates only on licensed frequencies. No radio or television reception interference is anticipated.**

- H. Lighting shall not exceed the FAA minimum standard. Any lighting required by the FAA shall be of the minimum intensity and the number of flashes per minute (i.e., the longest duration between flashes) allowed by the FAA. Dual lighting standards shall be required and strobe lighting standards prohibited unless required by the FAA. The lights shall be oriented so as not to project directly onto surrounding residential property, consistent with FAA requirements.

**Tower lighting is neither required nor proposed for this project.**

- I. Commercial messages shall not be displayed on any WCF.

**This WCF contains no commercial messages. The only signage is required by FCC guidelines for identification and proximity to RF emissions as required by rule.**

- J. The WCF equipment compound shall not be used for the storage of any excess equipment or hazardous materials, nor be used as habitable space. No outdoor storage yards shall be allowed in a WCF equipment compound.

**Verizon Wireless is aware of this ordinance provision and the plans contain no outdoor storage yards, hazardous materials, habitable space or excess equipment. This ordinance provision is met.**

- K. The WCF shall cause no signal or frequency interference with public safety facilities or traffic control devices and shall not physically interfere with other attachments that may be located on the existing pole or structure.

Qualifying WCFs shall not be required to meet the siting requirements listed in subparts A. through D.

**No interference is anticipated from this project. Verizon Wireless operates only on licensed frequencies.**

### **8.7.3 DIMENSIONS**

When permitted, a WCF shall conform to the following dimensional requirements:

#### **A. Heights**

1. Attached WCF: The top of the WCF shall not be more than 20 feet above the building.
2. Freestanding Concealed or Nonconcealed WCF: In all residential zoning districts, the maximum height shall be limited to 25 feet above the allowable building height of the underlying zoning district. In all nonresidential districts the maximum height shall be 199 feet. This measure shall include the foundation of the WCF, but exclude lightning rods for the dissipation of lightning or lights required by the FAA that do not provide support for any antennae.

**These ordinance provisions are met. The proposed permanent tower is 85' and the property is in a C-2 zone. It is not attached to a building.**

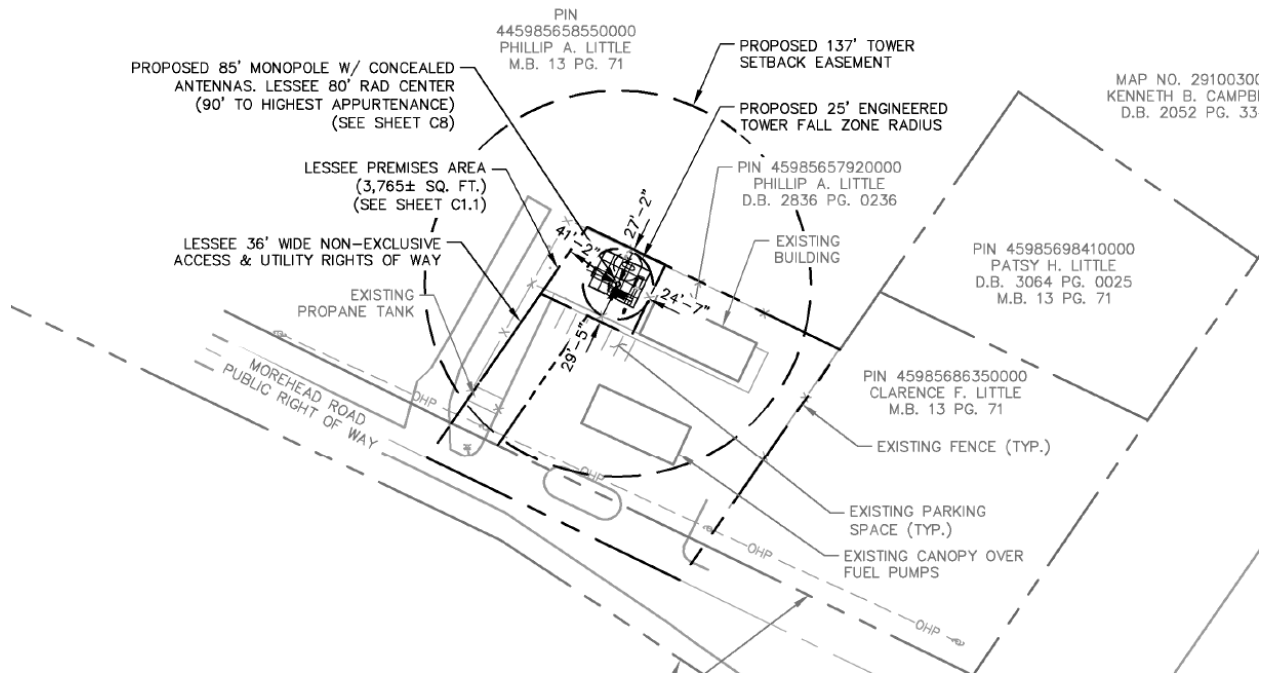
3. Mitigation of an existing WCF: The maximum height of a new WCF arising from mitigation shall not exceed 115% of the height of the tallest WCF that is being mitigated, to a maximum height of 199 feet.
4. Regardless of whether the facility is a qualifying WCF or a non-qualifying WCF, in no instance in an area zoned single family residential where the existing utilities are installed underground may a utility pole, city utility pole, or wireless support structure exceed forty (40) feet above ground level, unless the city grants a mitigation waiver or a variance approving a taller utility pole, city utility pole, or wireless support structure. For the purposes of this subsection, single family residential shall mean properties with the following zoning designation, unless otherwise defined by law: RE, RL, RM-1, RM-2, RV, or RC.

**Neither of these two ordinance provisions apply to this case.**

## B. Setbacks

1. Attached WCF: The building or structure to which the WCF will be attached shall maintain the normal setbacks of the district. The attached, WCF may encroach into the setback not more than 5 feet.
2. Freestanding WCF: Setbacks for WCFs shall be determined according to the underlying zoning district, plus an additional eighteen inches for every one-foot of tower height. The approving authority may grant reductions to this setback requirement as a part of the special use permit approval. Qualifying freestanding WCFs shall be exempt from this provision.
3. Mitigation of an existing WCF: A new WCF approved as mitigation shall not be required to meet setback requirements so long as the new WCF is no closer to any property lines or dwelling units as the WCF being mitigated.

**Sup-part 2 of this section is dispositive. In this case the tower is designed with a 25' fall zone. Even so, a 137' tower setback easement has been recorded to provide notice to any future landowners that no additional buildings should be placed inside the 137' tower setback easement.**



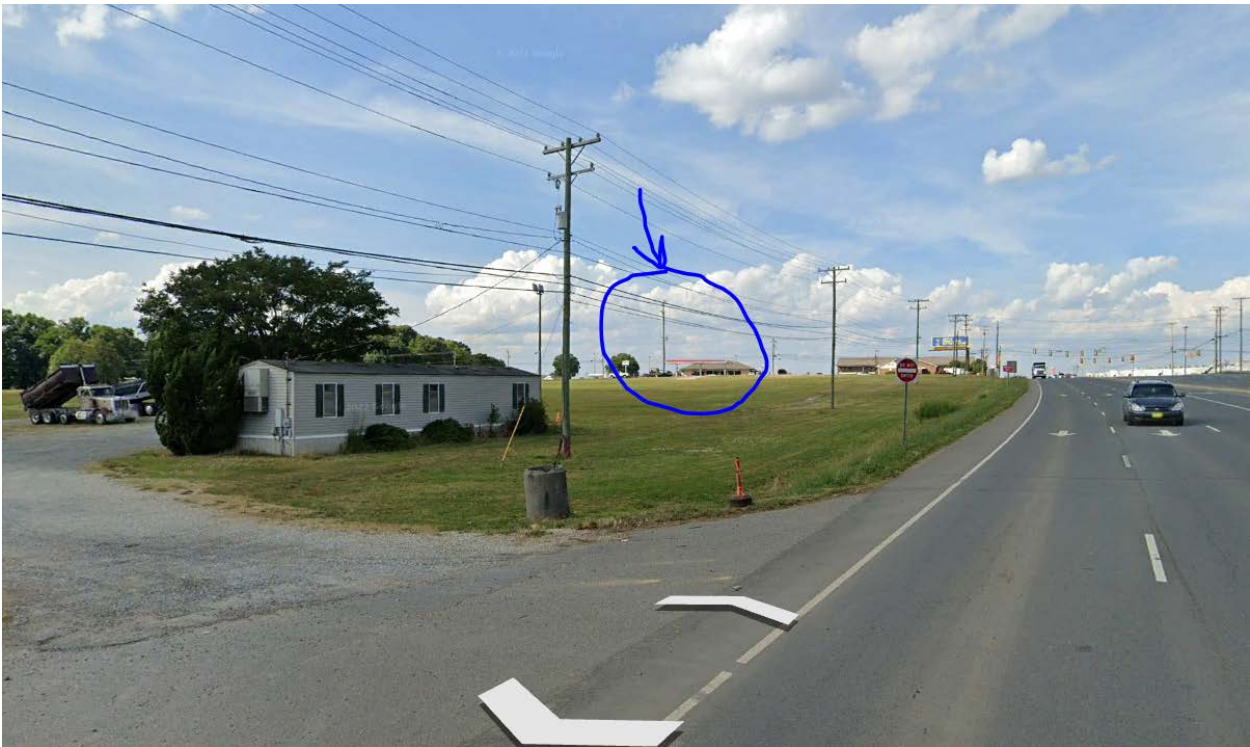
**The parcels affected by 137' tower setback easement are under common ownership. A setback easement of 137' encompasses 1.5 times the tower height plus a 10' buffer.**

### C. Buffers

1. A landscaped buffer shall surround the base of the WCF equipment compound. Existing trees and shrubs on the site should be

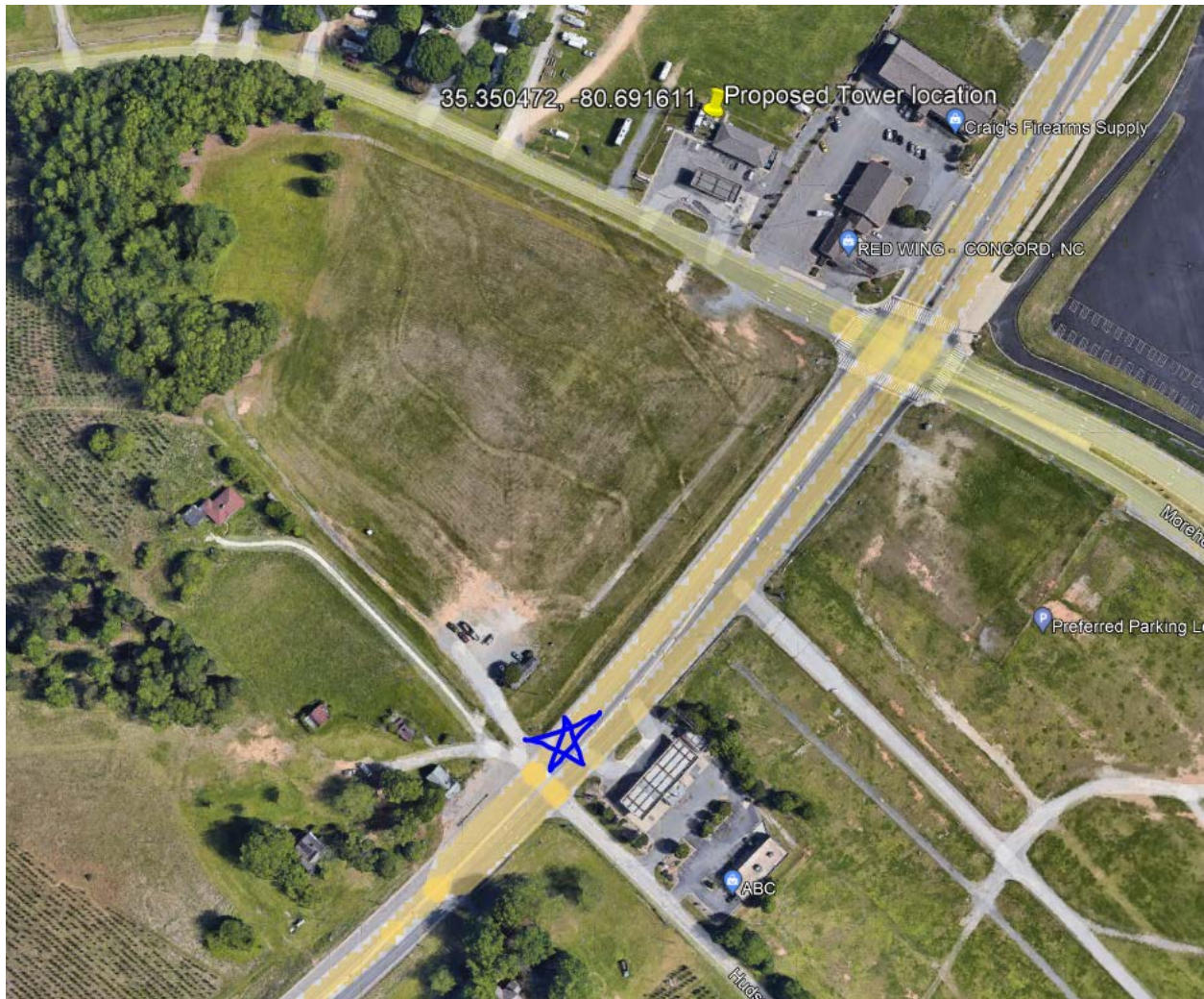
preserved and may be used in lieu of required landscaping where approved by the Administrator. Grading shall be minimized and limited only to the area necessary for the new WCF.

**In this case the area to be used has already been developed and is used as a gas station and mini-mart. No additional landscaping is proposed. There are no residences that will have a direct view of the tower compound area. The google earth street-view image below shows what it looks like from a nearby building. This image includes the temporary tower that is typically seen during the NASCAR season.**



**The google image was done from the location highlighted below.**





**Additional landscaping on the front of this will not provide any further screening. Similarly, screening to the rear is not required to protect the viewshed – there are no residences and the area is used as a parking lot / campground for RV style camping. The temporary tower has not been screened with landscaping and the community has accepted this installation without issue for several years.**

- limited only to the area necessary for the new WCF.
2. If the proposed WCF is the principal use of the property then landscaping per Article 11, Landscaping and Buffering, shall be applicable. Additionally a buffer equivalent to that required for an Industrial use adjoining a Residential use shall be provided around the WCF equipment compound.
3. If the proposed WCF is to be located in front of an existing structure on the same zone lot, a street buffer shall also be required.
4. In addition to the required landscape buffer, on sites in residential districts adjoining public rights-of-way an opaque fence shall surround the WCF equipment compound.

**In this case, the project is not the principal use, is not located in the front of a building and does not adjoin a residential district. A security fence is proposed and these ordinance provisions are met.**

**D. Aesthetics**

1. Concealed attached WCFs, including feed lines and antennae, shall be designed so as to be compatible with the façade, roof, wall or structure on which it is affixing so that it matches the existing structural design, color and texture.
2. Freestanding concealed WCFs shall be designed so as to be compatible with adjacent structures and landscapes to the extent feasible with specific design considerations as to height, scale, color and texture.
3. Freestanding non-concealed WCFs, including those used for mitigation, shall be limited to monopole type antenna support structures.

**In this case a monopole structure is proposed and this ordinance provision is met.**

**E. Collocation Capacity**

New non-qualifying wireless support structures must provide for collocation capacity as set forth herein:

- Freestanding nonconcealed structures up to 120 feet in height shall accommodate at least two antenna arrays.
- Freestanding nonconcealed structures between 121 feet and 150 feet shall accommodate at least three antenna arrays.
- Freestanding nonconcealed structures between 151 feet and 199 feet shall be engineered and constructed to accommodate at least four antenna arrays.

**This structure is capable of housing additional users and therefore this ordinance provision is met. The structure is less than 120' so one additional user is required. The drawings show more than two additional users can be accommodated.**

**8.7.4 APPLICATION REQUIREMENTS**

In addition to all of the requirements of site plan and Special Use Permit review (if required), the following information must be supplied with the site plan and use permit (if required) application for WCFs:

**A. For an eligible facilities request:**

1. Existing equipment on the wireless tower or base station
2. Proposed new equipment
3. Copy of lease agreement. Such submissions need not disclose financial lease terms.

**The application package contains these items.**

4. Name and contact information for applicant as well as any contractors or consultants performing work on behalf of the applicant
5. Application fee

**The application package contains these items.**

- B. For a substantial modification or a new non-qualifying wireless support structure:
  1. A complete site plan, certified by a professional engineer or other qualified professional, which demonstrates that the site and the wireless support structure complies as proposed with the standards set forth in this Section 8.7. The site plan shall include:
    - a. Height
    - b. Configuration
    - c. Location
    - d. Mass and scale
    - e. Materials and color
    - f. Illumination
    - g. Information addressing the following items:
      - i. The extent of any commercial development within the search ring of the proposed facility
      - ii. The proximity of the antenna support structure to any residential dwellings;
      - iii. The proximity of the antenna support structure to any public buildings or facilities;
      - iv. For a new wireless support structure, certification by a registered engineer that the facility has sufficient structural integrity to accommodate multiple users, and the number of additional users that can be accommodated.

**The application package contains these items.**



- 
2. Identification of the intended user(s);
  3. Documentation from the FAA that the lighting is the minimum lighting required by the FAA;
  4. Documentation that the power output levels do not exceed federally approved levels or American National Standards Institute (ANSI) standards for power density, whichever provides the stricter requirements.
  5. A statement of the number of collocation sites and documentation regarding structural integrity
  6. A copy of the lease agreement. Such submissions need not disclose financial lease terms.
  7. Documentation consisting of a certificate of insurance showing evidence of general liability coverage of at least \$1,000,000 and the certificate shall contain a requirement that the insurance company notify the city 30 days prior to the cancellation, modification, or failure to renew the insurance coverage required.

**The application package contains these items.**

8. Certification from a professional engineer that the structure has been designed to and will withstand 100 miles per hour wind velocity.
9. Relevant FCC licensing;
10. Name and contact information for applicant as well as any contractors or consultants performing work on behalf of the applicant
11. Application fee.

**The application package contains these items.**



1. Application fee.
- C. In addition to the requirements listed in subsection B. above, for a new non-qualifying wireless support structure:
1. A written report demonstrating applicants' meaningful efforts to secure shared use of existing wireless support structures. Copies of written requests and responses for shared use shall be provided with the application, along with any letters of rejection stating the reasons for rejection. The applicant shall provide information necessary to determine whether collocation is reasonably feasible. Collocation is not reasonably feasible if it is technically or commercially impractical to locate on an existing wireless support structure or the owner of the existing wireless support structure is unwilling to enter into a contract for such use at fair market value.
  2. Seismic analysis of the tower, stamped and sealed by a professional engineer or other qualified professional.
  3. Delineation of the fall zone for the structure;
  4. Simulated photographic evidence of the proposed structure's appearance from all residential areas within 1,500 feet, and from other vantage points chosen by the city.
  5. Supplemental information may be required by Section 8.7.4.B.

**There are no existing structures in the area upon which to collocate that would serve the specific needs of this site, which is the motor speedway. The only residences in the 1500' zone around the tower are located along Hwy 29 to the South / Southwest of the tower. We've included google earth street view photos with the temporary tower in clear view and highlighted the areas from which these images were taken. This satisfies the requirement for photo simulations.**

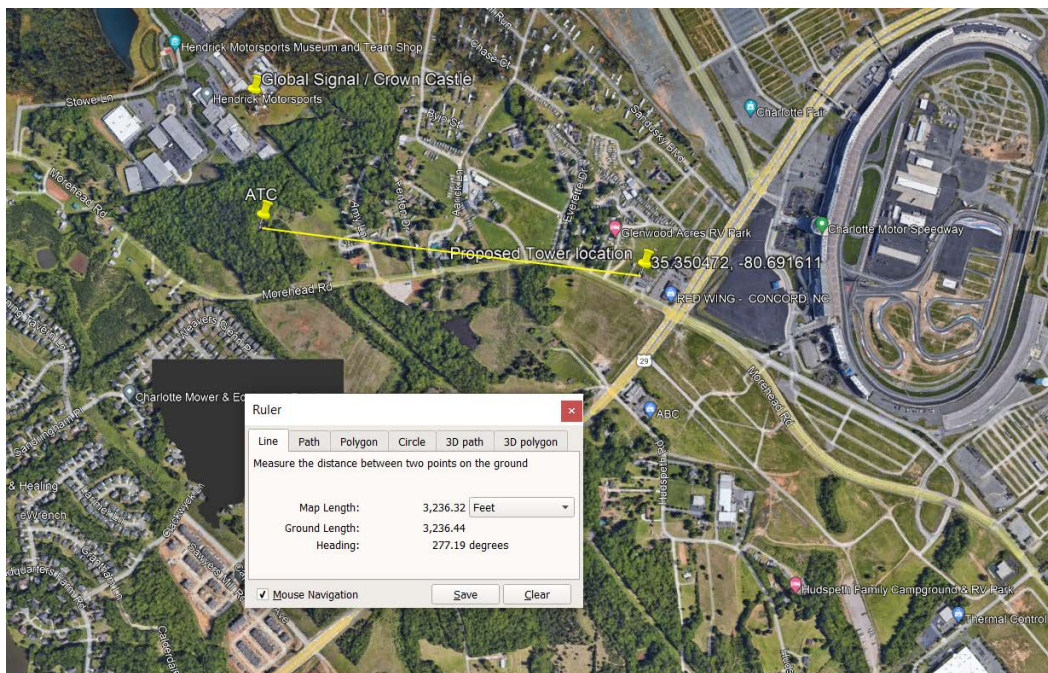






**Nearby Towers:**

**There are two towers nearby to the West of the proposed site. Verizon Wireless is a tenant on the Crown Castle tower Navigation off Stowe Lane. Installing on the ATC tower would interfere with the existing installation and the network would not perform very well. This tower is far enough from the existing installation to prevent interference and serve the motor speedway even at its peak use.**



## **Conclusion**

Verizon Wireless is asking for permission to install this permanent structure instead of the annual temporary tower that has been utilized each year for the past several years. As you can see from the compliance statement, the project meets or exceeds each ordinance provisions.

Dated: June 1, 2023

/s/ Benjamin S. Herrick

**Benjamin S. Herrick, Faulk & Foster Real  
Estate, Inc. on behalf of Verizon Wireless**



N E L L O

EXHIBIT D

1201 S Sheridan St  
South Bend, IN 46619

Phone: 574-288-3632  
Fax: 574-288-5860  
www.nelloinc.com

September 29, 2023

Brett Slough  
Verizon Wireless  
PO BOX 21074  
Tulsa, OK 74121

Re: Structural Analysis Report  
Site Name: Carolina Flanged Pole, Cabarrus County, NC  
85' NTP Nello Tapered Pole  
Job Number: SO31163 – Pass/Fail of SO19435

Dear Mr. Slough:

Nello is pleased to provide you with the results of the structural analysis performed on the 85' tall tapered pole for the Carolina Flanged Pole, Cabarrus County site in North Carolina. The purpose of the analysis was to determine the suitability of the tower with the three (3) carrier loading below. Given the shielding nature of the radome, the list of appurtenances and weight provided by Verizon have been taken into account within the loading of the radome.

Elevation	Appurtenance		Lines		Mount	
	Qty.	Model	Qty.	Size	Qty	Model
85'	1	6' Lightning Rod				
75'-85'	1	144" x 10' Radome - Raycap # VZ23-01398W-05R0	3	HYBRIFLEX 1-5/8"		
65'-75'	1	144" x 10' Radome - Raycap # VZ23-01398W-05R0	3	HYBRIFLEX 1-5/8"		
55'-65'	1	144" x 10' Radome - Raycap # VZ23-01398W-05R0	3	HYBRIFLEX 1-5/8"		

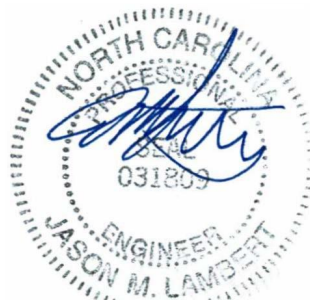
This analysis has been performed in accordance with the ANSI/TIA-222-G standard based upon a 115 MPH 3-second gust ultimate wind speed with no ice and 40 MPH 3-second gust wind speed with 3/4" ice.

Based on our analysis, this tower remains in compliance with the aforementioned tower code. Nello did not design the foundation for this structure. Therefore, it was not analyzed as part of this structural package. However, it is highly recommended that the foundation be analyzed by an engineer, based on these revised reactions from this study, to confirm that it has adequate capacity for the changes noted above

Nello appreciates the opportunity to provide this report and our continuing professional services. If you have any questions or need further assistance on this or any other projects please do not hesitate to call.

Respectfully submitted,

Jason Lambert, P.E.  
Vice-President, Engineering



10/18/2023



**Report Date:** October 20, 2023

**Client:** Verizon Wireless  
3651 Junction Blvd  
Raleigh, NC 27063  
Attn: Brett Slough  
(919) 755-4914  
brett.slough@verizonwireless.com

**Structure:** Proposed 85-ft Monopole  
**Site Name:** Nascar BP  
**Site Address:** 4515 Morehead Road  
**City, County, State:** Concord, Cabarrus County, NC  
**Latitude, Longitude:** 35.350472°, -80.691611°

**PJF Project:** A24323-0780.001.7610

Paul J. Ford and Company is pleased to submit this “**Foundation Analysis Letter**” for the above-mentioned site.

**Analysis Criteria:**


This analysis has been performed in accordance with the 2018 North Carolina Building Code.

All foundation loading was obtained from the Nello structural analysis, reference job number SO31163, dated 09/22/2023.

In our analysis we have found the foundation to be **SUFFICIENT** for the loading listed in the referenced Nello analysis.

We at Paul J. Ford and Company appreciate the opportunity of providing our continuing professional services to you and Verizon Wireless. If you have any questions or need further assistance on this or any other projects, please give us a call.

Respectfully Submitted by:  
Paul J. Ford and Company








  
Thomas J. Dehnke, PE  
Project Manager  
tdehnke@pauljford.com

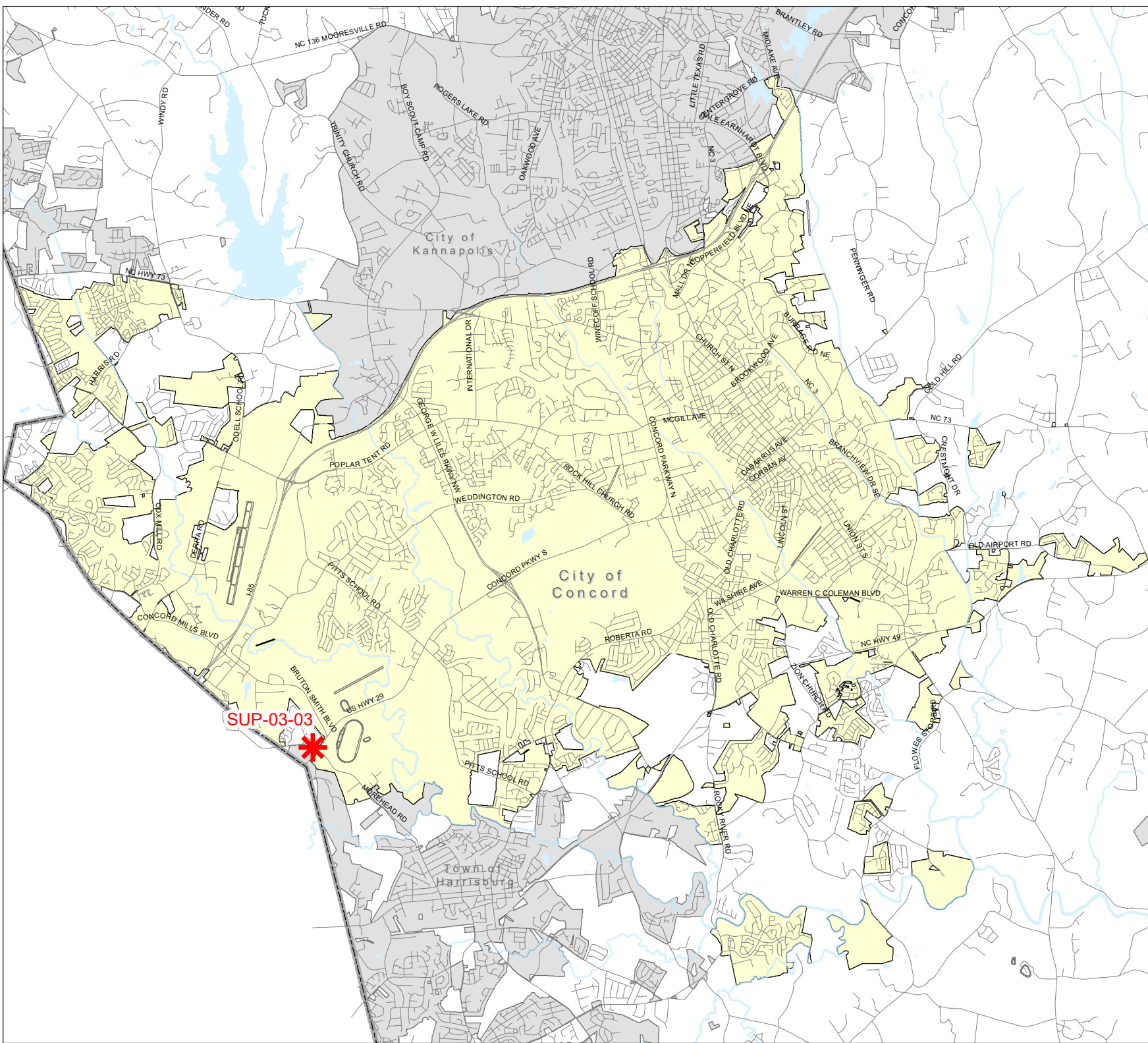
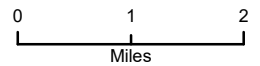
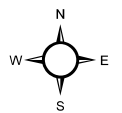


10/20/2023

SUP-03-23

4515 Morehead Rd

-  Case Location
-  Streets
-  Lakes & Ponds
-  Rivers
-  Cabarrus Co.
-  City of Concord
-  Other Municipalities



SUP-03-03



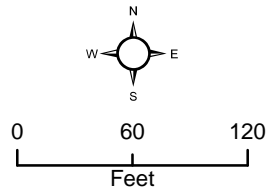
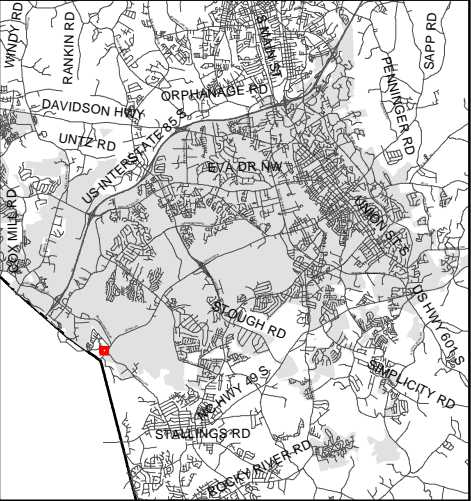




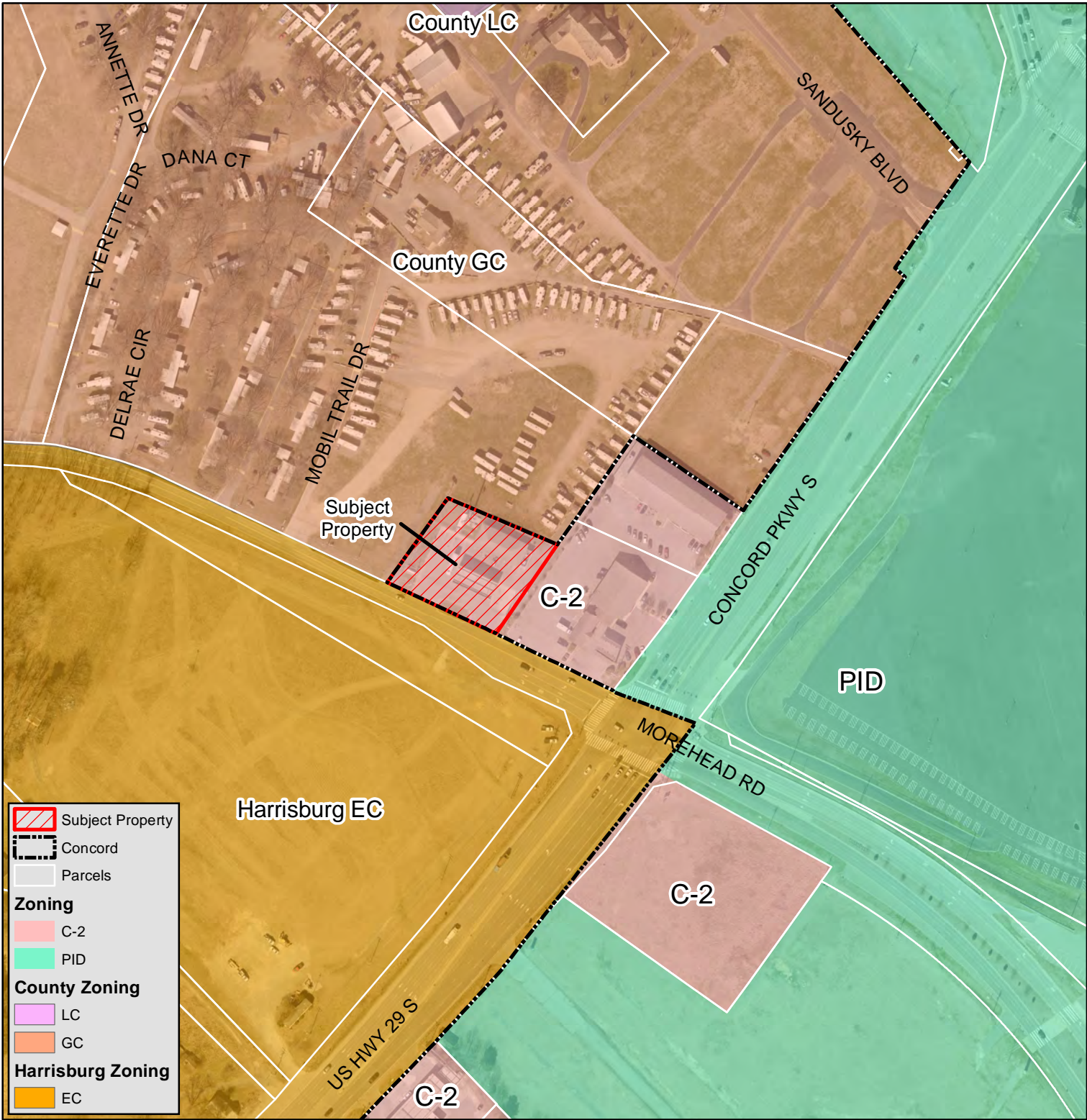
**SUP-03-23  
AERIAL**

**Special Use Permit  
Application  
Cell Tower in a  
C-2 (General Commercial)  
Zoning District**

4515 Morehead Rd  
PIN: 4598-56-5792 (part of)





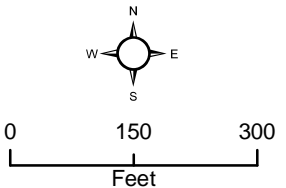
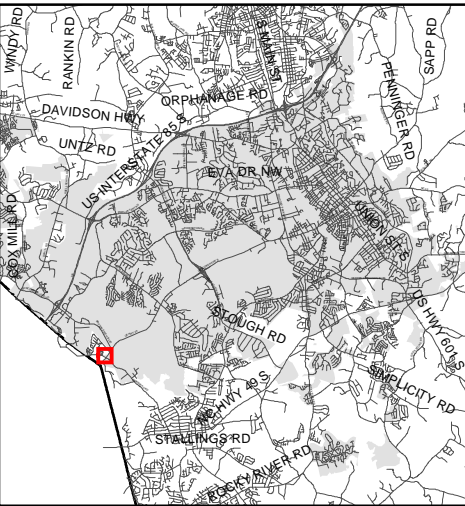


	Subject Property
	Concord
	Parcels
<b>Zoning</b>	
	C-2
	PID
<b>County Zoning</b>	
	LC
	GC
<b>Harrisburg Zoning</b>	
	EC

**SUP-03-23  
ZONING**

**Special Use Permit  
Application  
Cell Tower in a  
C-2 (General Commercial)  
Zoning District**

4515 Morehead Rd  
PIN: 4598-56-5792 (part of)

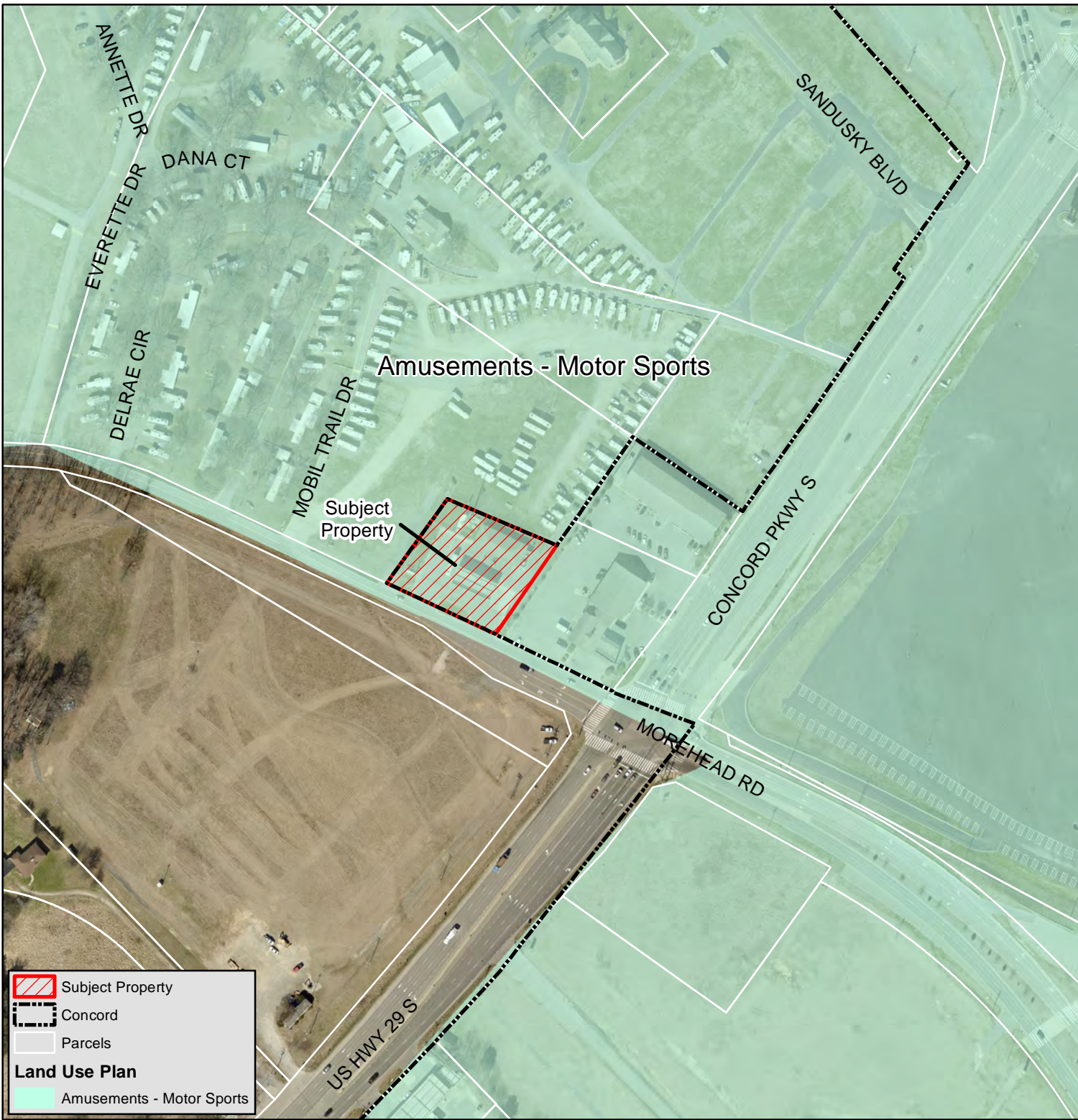






**SUP-03-23  
LAND USE PLAN**


**Special Use Permit  
Application  
Cell Tower in a  
C-2 (General Commercial)  
Zoning District**

4515 Morehead Rd  
PIN: 4598-56-5792 (part of)




 Subject Property

 Concord

 Parcels

**Land Use Plan**

 Amusements - Motor Sports

